



STATE OF NEW HAMPSHIRE
DEPARTMENT OF ADMINISTRATIVE SERVICES
BUREAU OF PUBLIC WORKS DESIGN & CONSTRUCTION
POB 483, 7 Hazen Drive – Room 250
Concord, New Hampshire 03302-0483
Phone (603) 271-3516, Fax (603) 271-3515

LINDA M. HODGDON
Commissioner

March 19, 2014

To: RFQ-RFP Respondents

RE: Request for Qualifications and Technical Proposal for the Regional Training Institute
Completion - Pembroke

Ladies and Gentlemen :

(RFQ-RFP Revision #2: Revisions are shown below in red, with dates of 3/5/14 and 3/12/14)
(RFQ-RFP Revision #3: Revisions are shown below in green bold, with date of 3/19)

The State of New Hampshire, Department of Administrative Services - Bureau of Public Works Design & Construction (BPW) is actively seeking a Construction Management Firm (CM) to provide Construction Management Services and work collaboratively with State of New Hampshire's project team to complete construction on the Regional Training Institute Completion project in Pembroke, NH on behalf of the Adjutant General's Department. At this time, the State is soliciting companies' Letters of Interest, Qualifications and Technical Proposals (LOI/QP's) for the project. Selections will be based on experience and general qualifications to undertake a completion project of the size and scope outlined below.

1. BACKGROUND and SCOPE:

- a. Included in this document are existing conditions information for stored materials and partially completed construction, logistical considerations and scheduling constraints for the project as known at this time.
- b. The scope of work includes execution of all phases of pre-construction and construction while coordinating with the State of New Hampshire's project team, including BPW staff, the State's A/E Consultant and New Hampshire Army National Guard (NHARNG) representatives. The scope of work includes completion of construction of the new NHARNG Regional Training Institute - Pembroke (RTI), including 55,600 SF Classroom Building and 47,600 SF Barracks.
- c. The State of New Hampshire project team estimates that 18% of the work / materials have been performed / delivered for the project as it was originally defined in the Construction Documents dated 5/9/2011 and addenda. The estimated 18% does not account for deduction associated with cost to remove and replace areas of low-strength concrete that are identified. The CM will accomplish remainder of the project to attain 100% completion.
- d. The Site for the RTI is adjacent to Route 106 and is near the Concord Municipal Airport. Work will be in close proximity to local watershed zones.
- e. Construction Management considerations include:
 - 1) Pre-Construction Phase Planning:

John O. Morton Building • 7 Hazen Drive, Room 250 • POB 483 • Concord, New Hampshire 03302-0483
Telephone: 603-271-3516 • Fax: 603-271-3515 • TDD: 1-800-735-2964
<http://admin.state.nh.us/purchasing/PublicWorks/PWindex.asp>

- (a) Evaluate existing materials stored on site to determine condition, suitability for use and advance preparations that will need to be made prior to installation.
 - (b) Developing concrete removal / replacement plans and details for locations where existing low strength concrete remains and must be removed, as well as where removed concrete must be replaced. These plans will be provided to the State project team for review and approval.
 - (c) Obtaining and paying for required permits and fees.
- 2) Taking possession of site, existing work in place and stored materials as-is currently at the project site and on the NHARNG Reservation property in Concord, NH and incorporating these into construction of the project.
 - 3) Preparing with the State project team, and assisting NHARNG and BPW with the public involvement process by facilitating public session(s).
 - 4) Management of the Construction project.

2. LOIQP PROCESS:

This phase of the selection process will allow the State to select the 'most qualified' CM Firm respondents (maximum of 6) to the RFQ-RFP. CM firms who are selected as 'most qualified' will be interviewed by the Selection Committee comprised of three representatives from BPW and two representatives from NHARNG.

- a. The Selection Committee will score each LOIQP according to a standard rubric. Reference the section titled "Appendix B  RTI LOIQP Scoring Guidelines". (rev 3/19)
- b. The Selection Committee will then score and RANK the CM firms based on the combined scores from Qualifications and Technical Proposal sections.
- c. BPW and NHARNG anticipate issuance of the Notification for Interview (NFI) on ~~4/10/14~~ **4/17/14** to the most qualified Construction Management Firms. BPW and NHARNG will evaluate the LOIQP of each CM firm and will only issue NFI's to those deemed *most* qualified and proposing the most suitable project execution methods, based on an evaluation of the information provided. Those most qualified CM firms (up to six) submitting LOIQP's will be interviewed. (rev 3/19)
- d. The State will conduct 45 minutes long interviews with the 'most qualified' CM firms (maximum of 6) and scoring from these interviews will be used to select three (3) CM firms to prepare Guaranteed Maximum Price (GMP) bids.

The proposal shall be submitted on or before 4:00 pm on ~~March 27~~ **April 3, 2014**. (rev 3/19)

Eight (8) copies of the proposal shall be sent to:

*NH Department of Administrative Services
Michelle Juliano, P.E., Assistant Administrator
Bureau of Public Works Design and Construction
John O. Morton Building
P.O. Box 483, 7 Hazen Drive, Room 250
Concord, NH 03302-0483*

Questions pertaining to this RFQ-RFP will be accepted up until (rev 3/19) ~~March 20~~ **March 27, 2014** in writing to Thomas Carleton at email: tcarleton@dot.state.nh.us or FAX: 603-271-3515.

The Bureau is under no obligation to make an award, or contract for any of the underlying services requested in any of this RFP and reserves the right to cancel the RFP at any time.

3. **LOIQP HIGHLIGHTS ~~GENERAL QUALIFICATIONS:~~**

(include in SECTION A or B of LOIQP, as indicated below) Rev 3/12/14

- a. CM firms submitting a Letter of Interest, Qualifications and Technical Proposal (LOIQP) shall provide proof of the following mandatory requirements:
- o Attach separately to the LOIQP, proof of their ability to obtain at least \$30 Million in single project bonding. (SECT A.1) Rev 3/12/14.
 - o Indicate if CM firm is currently debarred from work or has any ongoing litigation with any states or federal government. If so, provide explanation. (SECT A.1) Rev 3/12/14.
 - o List and describe the CM firm's experience during the past 10 years in executing projects similar to this project in scope and nature. Completion contracts are of particular interest, where taking over work after a prior construction firm has left project before completion and/or where portions of prior work must be removed & replaced. Provide reference contact information for projects as well. (SECT A.2) Rev 3/12/14.
 - ~~o Describe the CM firm's experience in dealing with multi phase construction and/or shutdowns. Rev 3/12/14.~~
 - o List and describe the CM firm's primary team members' experience with National Guard projects and other projects for DoD Military branches. (SECT A.3) Rev 3/12/14.
 - o List and describe the CM firm's capacity to successfully complete the contract in a timely manner and within the budget. (SECT A.2 & B.1.1) Rev 3/12/14.
- b. Respondents will be assessed on their capability to perform the work and on past experience with similar work as outlined above. LOIQP's shall include responses to the following:
- o Describe the CM firm's approach to completing this project. (SECT B.1) Rev 3/12/14.
 - o Describe the CM firm's understanding of specific project challenges and opportunities and the Construction Manager's role with regard to each. (SECT B.1.1) Rev 3/12/14.
 - o Explain how the CM firm develops a Guaranteed Maximum Price, where the work is based upon previously developed Construction Documents, Drawings, Specifications and prior Contractor-A&E documentation and correspondence produced during an earlier construction period that was halted. Note that the State estimates roughly 18% of the work was completed and materials provided, although the 18% does not account for deduction **in value** (rev 3/19) associated with cost to remove and replace areas of low-strength concrete that are identified. (SECT B.3) Rev 3/12/14.

4. **GENERAL DIRECTIONS for preparing LOIQP**

a. **SCOPE**

- 1) LOIQP's shall contain not more than ~~nine (9) pages (Rev 3/5/14)~~ **twelve (12) pages** (rev 3/19), excluding cover page, table of contents, tab sheets and resumes. **Page count also excludes Project Summaries, CM Firm References, QA/QC Plan, Site Logistics Plan, Safety Plan and Post-Occupancy R&M Plan** (Rev 3/12/14). The text will be a minimum size 10 font.
- 2) LOIQP's shall demonstrate the CM firm's ability to successfully manage the execution of a completion contract and construction of the facility and to successfully work with the State team and Using Agency representatives during construction.
- 3) LOIQP's shall provide straightforward, concise delineation of the Construction Management Firm's capabilities to satisfy the requirements of this RFP. BPW reserves the right to request clarification of information submitted and to request additional information of one or more CM Firms after the deadline for receipt of LOIQP's.
- 4) All Construction Management Firms responding to the Request for Qualifications & Proposals (RFQ-RFP) and intending to submit LOIQP's shall be:

- i. Prequalified by the NH Department of Transportation (NHDOT) a minimum of 10 business days prior to the date when LOIQP's are due, **for a project size of \$30 Million.** (rev 3/19) The NHDOT pre-qualification information is available from the NHDOT website:
<http://www.nh.gov/dot/org/administration/finance/documents/PreQualificationPackage.pdf>. (SECT A.1) Rev 3/12/14.
 - ii. Authorized to conduct business in the State of New Hampshire. This requires a STATE OF NEW HAMPSHIRE VENDOR APPLICATION, and a current original NEW HAMPSHIRE SECRETARY OF STATE REGISTRATION. These vendor numbers, licensure documents and proof of certification are not due with the LOIQP but will be due upon selection (if any).
- 5) Please provide BPW with contact information for the CM Firm's Lead Project Manager so correspondence may be directed to a single source.
 - 6) The cost for developing the proposal and participating in this procurement process is the sole responsibility of the CM firm; BPW will not provide reimbursement for such costs.
 - 7) **CM firms submitting LOIQP's shall be responsible for periodically checking the State BPW website at: <http://admin.state.nh.us/purchasing/publicworks/PWcurrentrequests.asp> to review the project notice for potential announcements of additional revisions that may be issued, up to the LOIQP revised due date of April 3, 2014.** (rev 3/19)
- b. **FORMAT:** The Proposal must include sufficient information to allow BPW and NHARNG to verify all of the CM Firm's claims of meeting the solicitation's requirements.

1) **Please respond to all sections of the RFP:**

Follow the specified format and provide your proposal by the stated LOIQP submission deadline. Failure to comply with these instructions may result in the rejection of your LOIQP response. ~~An identifiable tab sheet shall precede each section for easy reference, which shall be blank, except for the section label.~~ (rev 3/19) Each LOIQP must include at least the sections in the order described below and the location of these various sections must be referenced in the LOIQP Table of Contents.

2) **INFORMATION TO BE CONTAINED IN THE LOIQP INCLUDES:**

COVER Page, The Cover Page must clearly identify the following:

- Project Name: "Regional Training Institute Completion - Pembroke".
- Construction Management Firm(s) Name(s).
- A Contact Name, Telephone Number and e-mail address.
- LOIQP due Date & Time.

SECTION A, CM FIRM QUALIFICATIONS: (Rev. 3/12/14)

1. **Mandatory Requirements for CM Firm:** (Rev. 3/12/14)
 - NH DOT Prequalification **for \$30 Million** (rev 3/19), per details under "Scope" above.
 - Ability to obtain minimum bonding of \$30 Million for single project.
 - There have been no convictions or debarments of the firm, its officers, or its principals for building code violations, safety violations, bid rigging, or bribery in the last 10 years.
2. **Project Summaries of related work (attach separately) - Provide the following:**
 - Project name, location and contract award date. (Rev. 3/12/14)

- CM firm's role on project (prime, sub, etc). If role was as subcontractor, provide contact information of the prime contractor.
 - Contract type (firm fixed price, cost reimbursement, etc.)
 - Contract completion date & actual completion date. Explain difference in dates (if any).
 - Original contract price & final contract price, including any modifications. Explain difference in values (if any).
 - Level of complexity (High, Medium or Routine), with explanation. Client contact information.
 - See ~~item~~ **section** (rev 3/19) #3 above, LOIQP HIGHLIGHTS for additional information.
3. Organizational Structure and Team Members:
- If the proposal is a joint venture, describe the association and details of any previous associations.
 - Include an organizational ~~description~~ **chart**, (Rev. 3/12/14) description and team structure including firm names, addresses, and contact information.
 - Describe organizational **chart** (Rev. 3/12/14) structure for pre-construction and construction phases.
 - Describe the management plan for this project, including the roles of key team members and a description of how the CM will manage the Owner's interests prior to and during construction.
 - Introduce project team and provide resumes for all key members. Note technical expertise and proposed responsibilities during the project for both pre-construction and construction phases.
 - Describe experience of the project manager and superintendent working together on past projects. (Rev. 3/12/14)
 - Provide references from the proposed project director, showing commitment and project leadership.
 - Describe availability of the proposed team for this project.
 - Describe experience of the assigned team with projects of similar facility size and type, as CM and as Completion Contractor.
 - Describe team's experience with effective budget control.
 - Describe team's experience with effective schedule control.
 - List and describe primary team members' experience with National Guard projects and other projects for DoD branches of the military.
 - List current projects that team members are working on and in what capacity.
 - List any consultants you propose, their relevance and how they would be integrated.
4. Financial and Legal Criteria: (Rev. 3/12/14)
- Has the respondent or its subsidiaries been terminated for cause on a contract? If so, provide explanation.
 - Has the respondent made payments of actual or liquidated damages in the last five years for failure to complete by the contract completion date? If so, provide explanation.
 - Has a surety made payments on your account or your subsidiaries' accounts on Payment or Performance Bonds in the last five years? If so, provide explanation.
 - Have judgments been entered against you or your subsidiaries for breach of contract? If so, provide explanation.
5. CM Firm References (attach separately): (Rev. 3/12/14)

- Provide a minimum of three references that have been clients of the CM firm in the past 10 years.

SECTION B, TECHNICAL PROPOSAL MATERIALS:

PART 1, ~~Technical General~~ (Rev. 3/12/14) Qualifications:

Describe how the CM firm will accomplish this project; the specific approach to this project based on available information including the attachments; the project team; quality assurance and quality control; and your development of a Guaranteed Maximum Price (GMP).

1. Describe your approach to managing the following items by providing your understanding of the CM's role and how your past experience will aid you in execution:
 - Execute completion contract, taking over the work where the previous construction firm has left the project. Deliver the completed facilities and scope as described in the contract documents.
 - Successfully complete the contract in a timely manner and within the budget.
 - Execute project while adhering to requirements of a DoD MILCON project.
 - Address specific project opportunities and challenges for this site, building type, using agency, etc.
 - Obtain LEED Silver certification for the project, picking up the process and documentation where the previous contractor left off.
 - Revise SWPPP Plan, file amendment and implement, picking up the process and documentation where previous contractor left off.
 - Solve complex project issues. (Rev. 3/12/14)
 - Respond to changes within stated cost & schedule limits. (Rev. 3/12/14)
2. Quality Assurance / Quality Control Program:
 - Please provide a description of your firm's quality assurance / quality control (QA/QC) program. The QA/QC program should identify personnel, procedures, policies and management controls that your firm will implement to ensure the firm's contract requirements are met, the construction meets applicable codes and standards, and the overall project goals are achieved (attach separately). (Rev. 3/12/14)
3. Site Logistics Plan and Safety Plan (attach separately). (Rev. 3/12/14)
4. If selected to provide a GMP following interviews, please describe how you would develop your GMP. BPW reserves the right to change the format and content of the GMP bid; however, we anticipate it will include the following:
 - A line-by-line breakdown of the GMP, by CSI division, including lines for all contingencies assumed in the pricing.
 - Note: BPW is not seeking 'Shared Savings'.
 - Note: the GMP shall include all costs associated with the work, including but not limited to: permits and fees, general conditions, markup, overhead and profit, oversight, arts fund, commissioning, testing and inspections, CM contingencies, etc.
 - Provide a detailed description of hourly rates for those performing CM work.

PART 2 Pre-Construction Phase:

1. Describe HOW YOU WILL COORDINATE with the State Project Team and NHARNG staff, from the development of concrete removal and replacement thru start of construction.

~~2. Describe your organization's experience with quality control / quality management. (Rev. 3/12/14)~~

2. Describe how you would approach estimating and tracking of construction costs with reference to construction documents and related information, including real-time estimating and ability to turn around accurate estimates. Describe the estimator's experience with this type of project and circumstances.
- ~~3. Describe your approach to mobilization strategies, construction sequencing and projected cost / schedule control for this specific project. (Rev. 3/12/14)~~
3. Describe how you will bid subcontracted portions of the project and present bids to BPW and NHARNG staff for discussion & approval. (Rev. 3/12/14)
4. Describe how the construction cost will be tracked, so that ongoing alignment with the project budget may be assessed.
5. Describe how the CM team will transition from pre-construction to construction phase.

PART 3 Construction Phase:

~~1. Describe how you will bid portions of the project and present bids to BPW and NHARNG staff for discussion & approval. (Rev. 3/12/14)~~

1. Describe how you will establish the construction schedule, coordination with NHARNG's occupancy requirements and revise the schedule during the work as may be necessary to maintain the contract requirements.
2. Describe coordination with BPW, NHARNG, the A/E Consultant and commissioning agent.
3. Describe how you will develop and track Submittal Schedules, Requests for Information, Supplemental Instructions, Proposal Requests, Change Order Requests, etc.
4. Describe how you will deal with contingency amounts within the GMP.
5. Describe your proposed use of BIM and other technologies (ACAD, Revit, etc.)
6. Describe the organization's relationship with the Authorities Having Jurisdiction (State and Local) for permits, inspections and Certificates of Occupancy.
7. Describe relationship and coordination with the State's commissioning agent and supporting documentation.
8. Describe how you would handle partial acceptance of facilities based on BPW's / NHARNG's occupancy requirements and/or building constraints.
9. Describe project closeout procedures including equipment startup, as-builts, O&M's owner training, etc.
10. Describe warranty support function. **Include Post-Occupancy Repair and Maintenance Plan (attach separately). Demonstrate clarity, completeness, and the likelihood that all routine and emergency repairs and maintenance obligations will be performed in a timely manner. (Rev. 3/12/14)**

PART 4 Project Work Plan:

The CM firm shall provide a preliminary project work plan depicting tasks, dependencies schedule, milestones and deliverables. The plan shall include sufficient detail that BPW will be able to identify departures from the plan in sufficient time to seek corrective action. In particular, the plan shall provide detailed information regarding staffing and management during each phase of the project.

1. Which firm/firms/consultants will be involved during each phase and what is the projected manpower and role of each firm related to this task or task set?
2. What is your basic approach to this task/task set with respect to Owner/User involvement; CM involvement; Town involvement?

PART 5 Workload: Describe the following workload information in your proposal.

1. Current Workload
2. Capacity: A description of the CM firm's capacity. Describe in today's construction dollars, the volume of work that the CM firm can handle at this time with 1) the present workforce 2) readily available augmentation 3) ability to bond.
3. Consistency: List in today's construction dollars, the volume of work your firm has handled for each of the past five (5) years identifying specific projects, locations and costs. Discuss reasons for major fluctuations.

SCHEDULE - A tentative schedule for project execution has been established as follows:

- o 2/27/14 Advertise Letter of Interest, Qualifications & Technical Proposals (LOIQP).
- o ~~3/20/14~~ 3/27/14 (rev 3/19) Last day for CM firm respondents to submit questions to BPW.
- o ~~3/27/14~~ 4/3/14 (rev 3/19) **LOIQP's Due at NH BPW.**
- o ~~4/10/14~~ 4/17/14 (rev 3/19) Select up to six (6) 'most qualified' CM firms (based on LOIQP scoring) and deliver Notification For Interviews (NFI's) to be held on 4/14 & 4/15.
- o ~~4/14 & 4/15~~ 4/21-22 (rev 3/19) **CM Interviews. Each interview will be 45 minutes long.**
- o ~~4/22/14~~ 4/25/14 (rev 3/19) Notify top three (3) Interviewees of selection for Invitational Bids.
- o ~~4/24/14~~ 4/25/14 (rev 3/19) Invitational Bid Requests sent to three (3) CM firms.
- o 4/30/14 **Site Walk.** (rev 3/19)
- o 5/15/14 **Bids Due & Opened at NH BPW.**
- o 5/20/14 Lowest Qualified Bidder selected.
- o 5/29/14 Award Contract.
- o 7/9/14 Projected Governor and Council Meeting review & approval of Contract, on or about this date.
- o 7/11/14 **Notice To Proceed, on or about this date.**
- o 10/4/15 Project Substantial Completion.

5. **ADDITIONAL INFORMATION:**

- a. Appendix A: RTI CM Project Details attached to this document for additional information, requirements and list of reference materials. Includes information as summarized below:

- 1) Project Documents List.
- 2) RFQ / RFP and attachments.
 - a) Additional Documents: These **is now available** at:
 - o Construction Documents, 2011.
ftp://dot.contractor.bidprocess@nhftp.admin.state.nh.us/RTI_RFQ-RFP_AddlDocs.zip (link revised 3/5/14)
 - o Existing Construction Progress Documents (including as-builts, etc.)
ftp://dot.contractor.bidprocess@nhftp.admin.state.nh.us/RTI_RFQ-RFP_AddlDocs2.zip (link added 3/5/14)
 - o Prior Construction Phase Documents.
ftp://dot.contractor.bidprocess@nhftp.admin.state.nh.us/RTI_RFQ-RFP_AddlDocs3.zip (link added 3/5/14)

- o Reference Materials.
ftp://dot.contractor:bidprocess@nhftp.admin.state.nh.us/RTI_RFQ-RFP_AddlDocs4.zip (link added 3/5/14)
 - b) (Bid Supplement Documents – for later issuance to selected bidders only)
- 3) Project Requirements: These are listed by CSI Division number.
- b. **Appendix B: RTI LOIQP Scoring Guidelines is now available, attached to this document, following Appendix A, and also posted on Wednesday, March 12, 2014 at:** (Rev 3/12/14)
ftp://dot.contractor:bidprocess@nhftp.admin.state.nh.us/RTI_AppxB-RFQ-RFP_Scoring.pdf
 (link revised 3/5/14)
 - c. **Attachment:** Project CM Overview Drawings.
 - d. From the interview process, three (3) will be selected to provide a low bid guaranteed maximum price. The lowest qualified bidder will be awarded the project.
 - (1) Interview assessments will include but not be limited to:
 - (a) Statement of why the CM firm should be selected for this project.
 - (b) Overall impression of key team members (project manager, superintendent, project director, cost estimator, project executive, etc.)
 - (c) Methodology presented to ensure success.
 - (d) Principals' ability to engender confidence that the firm can complete the project within schedule and budget.
 - (e) Ability of team members to communicate during the interview process.
 - (f) Firm's ability to answer challenging interview questions.
 - (2) In the event of a GMP tie, the bidder with the lowest CM fee will be selected.
 - (3) In the event of a tie between two low bidders with respect to CM fees, the selection shall be made by a coin flip.
 - (4) In the event of a tie between three low bidders with respect to CM fees, the selection shall be made by the drawing of lots.

Please provide BPW with contact information for CM Lead Project Manager so correspondence may be directed to one source.

Sincerely,



Michelle L. Juliano, P.E.
 Assistant Administrator, NH DAS BPW

(603) 271-1645
 (603) 271-3515

Attachment 1: RTI CM Overview Drawings

cc: Michael Connor, Deputy Commissioner, NH Dept of Administrative Services
 Theodore Kupper, P.E., Administrator, NH DAS BPW
 Thomas Carleton, Project Manager, NH DAS BPW
 COL David Mikolaities, NHARNG
 CWO2 Larry Rea, NHARNG

APPENDIX A

Project #80342R, Contract G **Regional Training Institute Completion – Pembroke**

Revised 3/5/14

PROJECT DETAILS:

The following are project details regarding documents and requirements that will be included in the Contract Documents and must be fully integrated with the Construction Documents from 2011 (CD's-2011) and delivered as part of the Construction Management (CM) contract, except as otherwise noted:

Project Documents List:

1. **RFQ / RFP:** Advertisement posted on February 27, 2014.
 - a. RFQ / RFP Letter.
 - b. Appendix A - Project Details (this attachment): Note that where practical, subfolders and documents provided have been numbered per CSI Format.
 - c. Appendix B - LOIQP Scoring Criteria: RTI LOIQP Scoring Guidelines, **IS NOT YET available, but will be posted at noon on Wednesday, March 11, 2014,** ftp://dot.contractor:bidprocess@nhftp.admin.state.nh.us/RTI_AppxB-RFQ-RFP_Scoring.pdf (link revised 3/5/14)
 - d. Attachment, RTI CM Overview Drawings: Location Plan, Site Plan, Building Plans and Building Elevations, excerpted from complete set of drawings dated 5/9/11 as noted in item 2.b below.
2. **Additional Documents:** These **will be available** at noon on Wednesday March 5, 2014
 - a. **Construction Documents 2011 (CD's-2011):**
By State of New Hampshire's Design Consultant (NH-A&E), go to ftp://dot.contractor:bidprocess@nhftp.admin.state.nh.us/RTI_RFQ-RFP_AddlDocs.zip (link revised 3/5/14)
 - i. Specifications 2011, dated 5/9/11.
 - ii. Drawings 2011, dated 5/9/11.
 - iii. Addendum #1, 6/10/11, Addenda #'s 2 & 3 (Combined, 6/15/11 & 6/23/11).
 - b. **Existing Construction Progress Documents:** Go to ftp://dot.contractor:bidprocess@nhftp.admin.state.nh.us/RTI_RFQ-RFP_AddlDocs2.zip (link added 3/5/14)
 - i. As-Builts: Drawings show progress of work completed to date.
 - ii. Concrete Assessment:
 1. See "03-Exg Conc Low Strengths & Cores", identifying areas of concrete determined to be unacceptable, which must be removed and replaced.
 2. See "03-Exg Conc Rmvd", showing areas of concrete removed or partially removed to date.

APPENDIX A

- iii. Photos-Videos. These include the following:
 - 1. Over-flight video and still photos taken by aircraft during the summer of 2013.
 - 2. Progress photos taken by the State project team following the previous period of construction.
- iv. Steel Work & Materials: Documents describe extent of work in place and work partially disassembled due to prior work on removal and replacement of low strength concrete. Documents also describe large portions of steel that was delivered to the project site in October of 2013.

c. Prior Construction Phase Documents: Go to ftp://dot.contractor:bidprocess@nhftp.admin.state.nh.us/RTI_RFQ-RFP_AddlDocs3.zip (link added 3/5/14)

- i. ASIs-SKs:
- ii. Fence Rental: Documents for ongoing perimeter fence rental. This cost will be taken over by the CM as part of the contract, beginning on the date the CM contract is awarded.

d. References Materials: Go to ftp://dot.contractor:bidprocess@nhftp.admin.state.nh.us/RTI_RFQ-RFP_AddlDocs4.zip (link added 3/5/14)

Materials generated during the prior contract, provided as background information. This section of materials will not be part of the contract documents.

- i. 00-Executive Orders and Requirements:
- ii. 00-Site Property Information:
- iii. 01-LEED Documents:
- iv. 01-Permit Info:
- v. 01-Submittals Reviewed:
- vi. 03-Concrete Removal Plans: Documents produced by previous General Contractor.
- vii. 23-MEP Coordination Drawings:
- viii. 32-SWPPP Documents:
- ix. 33-Utilities Information:
- x. All reference materials are included in the Project Documents for the purpose of providing to respondents, background information that is in the State's possession. The State has not determined whether the reference materials are all pertinent, or of any particular value to respondents. The reference materials will not form a part of the contract between the State and CM. Except as may be provided otherwise in the contract documents, the State makes no representation, warranty or guarantee as to, and shall not be responsible for, the accuracy, completeness, or pertinence of the reference materials, and, in addition, shall not be responsible for any conclusions drawn there from.

APPENDIX A

3. Bid Supplement Documents (for later issuance to selected bidders only):

These documents will supplement materials issued with the RFP as noted in items 1 thru 5 above and will be provided only to the final three bidders selected via the RFQ / RFP and Interview process.

- a. Bid Supplemental Documents Part A: Revisions and Clarifications to the original Construction Documents – 2011, as described in item 1 above.
- b. Bid Supplemental Documents Part B: Additional documents to be provided by the State of NH.

Project Requirements:

The following requirements are listed here to identify elements and terms of work that the CM will perform along with the scope of work described in the Project Documents listed above.

1. Division 1, General Requirements:

- a. Solicit bids for all subcontracted work, coordinating with Owner Representatives to select subcontractors that may or may not have been associated with the previous construction contract, whichever is judged by the project team to offer the best value for the State and Using Agency.
- b. Pay for and obtain new permits and fees and pay for and amend existing current permits and fees where applicable, as required to perform the Work, including but not limited to the following:
 - i. Alteration of Terrain Permit (AoT): File amendment to existing permit, coordinating with NH-PM, meeting terms of original approval letter from Mr. Mauck of NH DES, where amendment required due to changes in the sequence of work.
 - ii. Driveway Permit: File and coordinate with NH-PM for input from DOT representative Mr. Bill O'Donnell.
 - iii. Water Connection Permit: File with estimated cost of \$130,357.00 for Town of Pembroke Fee, based upon 2012 information. Further increases may have occurred.
 - iv. Trench Permit: File to install utilities at Route 106.
- c. Within four weeks after contract award, provide six hard copies (half size drawings) and two electronic copies (pdf format on individual CD) of consolidated RFP documents (i.e. drawings and specifications) incorporating scope of the Contractor's Proposal, all revisions and amendments contained in items noted in the Project Documents List that begins at the top of page one above, and revisions contained in the Contract Award (if any).
 - i. For Drawings, annotate PDF's with text box comments and arrows.
 - ii. For specifications, Identify the changes to the RFP with the "Red-lining" or "Track Changes" feature of SpecsIntact or MS Word to highlight the pre-award modifications to the contract.
 - iii. Identify the amendment source at each addition and deletion by annotation, such as footnote or reference in parentheses.

APPENDIX A

- d. A temporary construction easement has been obtained by the State and will be provided to Construction Manager (CM), allowing work to proceed on portion of private property adjacent to Rte 106.
- e. Provide a site office trailer and related facilities, with two offices and meeting space. The National Guard Project Manager (NG-PM) is the Using Agency representative and shall occupy the second office in this trailer.
- f. Provide CM Project Manager (CM-PM).
- g. Provide separate individuals for on-site construction management as follows:
 - i. Site Project Superintendent.
 - ii. Site Health and Safety Manager.
 - iii. Site Quality Assurance/Quality Control Manager.
- h. Conduct pre-installation meetings for all portions of the work indicated in the Construction Documents of 2011 and in all later documents indicated in the Project Documents List that begins at the top of page one, above. Pre-installation Meeting Checklist will be followed and processed for each portion of the work.
- i. "Independent Special Inspections" shall be performed by an entity that shares no financial interests with the Inspection and Testing Company.
- j. State personnel shall perform the following functions on the project team:
 - i. State Project Manager and Contract Administrator (NH-PM).
 - ii. State Clerk of the Works (NH-CW). This member of the team is encouraged to advise the CM in the event that he has concerns about quality of work being installed at any given time. In such cases, he may advise the CM that the State will not pay for such work if it is installed in a manner that raises concerns regarding quality of the final product.

2. Division 2 – Existing Conditions:

- a. Carefully remove all temporary protective soil cover from existing building foundations / footings and partially embedded reinforcing steel.
 - i. Take precautions to prevent potential damage during the course of uncovering foundations, where existing steel anchor bolts and partially embedded reinforcing steel may be at risk.
 - ii. Consider pressurized air or similar method for removal of soils over partially embedded reinforcing steel.
- b. Perform surveys for positions of existing work, to verify that foundations did not shift due to frost penetration during the work stoppage period:
 - i. Existing Foundation at RTI Classroom Building (once uncovered):
 - 1. Measure spot elevations for foundations & footings to verify vertical stability of each point previously documented in winter of 2012.
 - 2. Foundation survey in horizontal plane, locating exterior faces of foundation walls and shelves and position of footings.
 - 3. Existing anchor bolt locations.
 - ii. Existing Foundation at Barracks Building (once uncovered):

APPENDIX A

1. Measure spot elevations for foundations & footings to verify vertical stability of each point previously documented in the winter of 2012.
 2. Foundation survey in horizontal plane, locating exterior faces of foundation walls and shelves and position of footings.
 3. Existing anchor bolt locations. (Compare results to Barracks anchor bolt survey done by prior contractor.)
- c. Existing Steel Structure: See Division 5 below.
- d. Existing Utility Piping: See Division 33 below. Perform testing to verify integrity of buried utility piping installed at site by original contractor.

3. Division 3 – Concrete:

- a. Barracks Building foundation is roughly 40-50% complete. Although a much greater percentage was originally installed, many sections were found to be low strength. These areas have been, or must be, removed and replaced. Much of the foundations and footings have been backfilled for temporary winter protection (see Division 31 Earthwork for additional information). No concrete slabs on grade have yet been placed. Foundations were installed at the Barracks Building, but numerous sections were identified as having insufficient strength. The low strength concrete areas were identified and have been partially removed.
 - i. Portions of the foundations have been partially saw-cut but not yet fully removed from the foundation wall.
 - ii. Sections of concrete have been cut and removed from the foundations but not yet disposed of, remain on the site.
- b. RTI Classroom Building foundation is roughly 40-50% complete. Half of the foundation work placed is backfilled and compacted up to finish grade. The other half is backfilled for temporary winter protection (see Division 31 Earthwork for additional information). Some sections of concrete were found to have low strength and must be removed and replaced.
- c. Foundation steel rebar at the RTI Classroom Building is about 90% placed and tied. Remaining rebar to be placed is stored on site, except for rebar that will be required to replace low strength concrete that has or will be removed at locations in the Barracks and RTI Classroom Buildings.
- d. See Project Documents List above, Section 2.b.ii, Concrete Assessment, for additional information on both buildings.
- e. The low-strength concrete foundation areas identified for removal and replacement will not be incorporated into the final project work.
- f. For areas of low strength concrete that have not yet been removed, provide concrete removal and repair plans, produced and stamped by a structural engineer licensed in the State of New Hampshire. Submit 24"x36" plans to State project team for review and acceptance by the design consultant's structural engineer of record, prior to commencement of related work. Coordinate scope with areas indicated in the following files:
 - i. "03-Exg Conc Low Strengths & Cores" plans - NH-A&E notes indicating areas where low strength concrete was identified and location where concrete cores were taken.

APPENDIX A

- ii. "03-Exg Conc Remvd" plans - BPW notes indicating extent of concrete removal performed to date.
- g. For concrete repair plans, provide shop drawings and calculations including but not limited to the following conditions:
 - i. Dowel new spread footing to adjacent existing spread footing.
 - ii. Dowel new foundation wall to adjacent existing foundation wall.
 - iii. Dowel new foundation wall to existing spread footing below.
 - iv. Dowel new concrete pier to existing concrete pier below.
 - v. Dowel new concrete pier to existing isolated concrete footing below.
 - i. Dowel new concrete pier to existing adjacent foundation wall.
- h. Where temporary shoring is required at Structural Steel to allow low strength concrete to be removed, replaced and to reach required strength, see Division 5 below for additional information.
- i. Remove remaining areas of low strength concrete.
- j. Fill and plug all existing concrete test core holes in the footings and walls in sections of foundations that remain and are not identified for removal.

4. Division 5 – Steel:

- a. The State believes all structural steel for both buildings is on site, with the exception of two pieces that couldn't be located upon delivery in the fall of 2013. In addition, two pieces of steel were identified as slightly damaged when delivered. Some other elements of steel were damaged when disassembled for prior concrete removal. Barracks Building steel is roughly 30% erected. There is no steel yet erected at the RTI Classroom Building.
- b. Roof & slab decking: The State believes all steel decking is stored on site. Roughly 20% of decking has been placed on erected steel at Barracks Building.
- c. Inventory materials to verify quantities.
- d. See Project Documents Section 3.d, file "05-Exg Steel Deliv Summary", description of steel materials delivered to the project site in October 2013.
- e. Where some steel accessory materials are stored at NGR in Concord, NH, pick up and deliver materials to project site in Pembroke, NH.
- f. Portions of the structural steel were erected at the Barracks Building. Some sections were dismantled to allow for removal and replacement of low strength concrete. See Project Documents Section 3.d, file "05-Exg Steel Dismantled", BPW notes indicate extent of steel dismantled to date, as was required for prior removals of low strength concrete.
- g. Where additional erected Steel must be temporarily supported or dismantled and reinstalled in order to remove and replace remaining unacceptable concrete, provide shoring as necessary. Provide shoring plans prepared and stamped by a licensed structural engineer. Submit plans to the NH-PM for review and acceptance by NH-A&E structural engineer of record, prior to commencement of related work.
See Division 3 – Concrete above for additional information.
- h. Structural steel has not yet been erected at the RTI Classroom Building.

APPENDIX A

5. Division 7, Thermal and Moisture Protection:

- a. Remove existing damp-proofing, insulation, and other related materials at foundation walls and footings where necessary to remove remaining low strength concrete.
- b. Patch existing materials that remain, where damaged thru the process of concrete removal and replacement.
- c. Install new damp-proofing, insulation, and other related materials at foundation walls and footings where low strength concrete is being or has been removed and replaced. Tie new materials into existing adjacent materials that remain.

6. Division 11, Equipment:

- a. Kitchen Equipment:
 - i. Kitchen Equipment is stored at NGR. Load and transport materials to Pembroke site. Coordinate with NH-PM for access and related logistics.
 - ii. Include scope to install and hook up all Kitchen Equipment provided by State as stored at National Guard Reservation property in Concord, NH.
 - iii. Install utility hookups for owner supplied Kitchen Equipment. See CD's-2011 for related information.
- b. Fitness Center: Install utility connections as noted in CDs-2011.
- c. Tel/Data: Install as noted in CDs-2011.
- d. CM will install all utility connections for washers and dryers.

7. Division 13, Grounding Grid:

- a. Ground ring around both buildings is roughly 70% in place and remaining copper for this portion of work is on site, with the exception of materials required to replace what was or will be removed at low strength concrete locations in the Barracks and RTI Classroom Buildings.
- b. Install new grounding grid at foundation walls/footings where portions were, or will be, removed to replace low strength concrete. If possible to reuse existing grounding grid that remains, tie into new grounding grid as required to provide a fully functional system. Test the complete grounding grid system for continuity.
- c. Provide engineered shop drawings detailing connection of new lightning protection to existing lightning protection that remains, prepared and stamped by an engineer licensed in the State of New Hampshire. Submit plans to the NH-PM for review and acceptance by NH-A&E, prior to commencement of related work.

8. Division 22, Plumbing:

- a. Interior sanitary lines are installed and tested in roughly half of the RTI Classroom Building. Most cast iron pipe for the remainder is stored on site. It must be examined for suitability of intended use, where it may have been affected by prior low-strength concrete removal work and has been in a partially exposed condition for over a year.
- b. Interior storm drains in the RTI Classroom Building are roughly 40-50% installed.

APPENDIX A

- c. Some materials for radon removal system (PVC pipe and collectors) are stored on site, but total remaining for site has not been quantified by the State. No radon pipe has been installed.
 - d. See Project Documents Section 2.b.i, As-Builts for additional information.
 - e. Provide third party inspections for code compliance where the town building inspector will not be involved in reviewing this State project.
9. **Division 23, HVAC:** Provide third party inspections for code compliance where the town building inspector will not be involved in reviewing this State project.
10. **Division 26, Electrical:**
- a. There is no interior underground conduit installed, but a large portion of sweeps, conduit and fittings are stored on site for this work. There are no conductors pulled into conduit at this time.
 - b. See Project Documents List, Section 2.b.i, As-Builts for additional information.
 - c. Electrical materials are stored at NGR. Coordinate with NH-PM for access and related logistics. Load and transport materials to Pembroke site.
 - d. Provide third party inspections for code compliance (including but not limited to N.F.P.A. 70 National Electrical Code). The town building inspector will not be involved in reviewing this State project.
11. **Division 31, Earthwork:**
- a. The site is stripped, grubbed and cut and filled to rough grade throughout most areas. The roadways and some parking areas are graded to sub-base.
 - b. See Project Documents Section 2.b.i, As-Builts for additional information. Site-Foundation Plans, Drawings X-1 thru X-10.
 - c. Remove and stockpile protective fill for later use on site prior to beginning work on foundations. Materials were placed over existing foundations to protect against potential damage from frost penetration while project construction was halted. Most protective fill material is structural fill. None of the protective fill was compacted. Some of the material was sandy soil, excavated from the surrounding site and placed as identified on Drawings X-1 thru X-10.
 - d. See Division 3, Concrete, above for additional information on removal of protective soils from foundations.
12. **Division 33, Utilities:**
- a. The water main has been installed throughout site, stubbed up into RTI Classroom Building and stubbed out outside the Barracks Building. Connection remains to be made at North end into City line on Riverwood Drive and South connection at Rte 106, which requires horizontal drilling across 106 to City main line. Roughly 90% complete at present.
 - b. The sewer main has been placed, extending into both buildings. Tanks and force main are in place, to North site entrance, dead-ended for final tie-in to City gravity line at Riverwood drive. Sewer pump and meter are stored at the NHARNG Reservation.
 - c. Exterior storm drainage structures are about 80% installed with roughly 60% hooked up to drainage pipe. Cones, pipe and grates for the remaining structures are stored on site.

APPENDIX A

- d. The electrical main power feed conduit is installed from Rte 106 to the RTI building. Most of the trench is dug and half of the length has been inspected and backfilled. 4 pull stations are on site, not yet installed. Final branch runs to buildings are not yet installed. All underground conduit to complete this work is on site. No exterior electrical site conduit has been installed.
- e. Utility Piping: Perform testing to verify integrity of buried utilities installed at site by original contractor.
 - i. Where piping, ductbanks, etc. pass test(s), CM will assume responsibility for maintaining continued integrity of piping throughout construction period and any applicable warranty period(s).
 - ii. Where piping fails, CM will submit Proposed Change Order (PCO) to perform repairs and/or replacement, to be funded via contingency established to address unforeseen conditions.
- f. Materials stored on site:
 - i. Inventory materials to verify quantities.
 - ii. Test materials to verify integrity, including but not limited to PVC piping, PVC pipe integral gaskets at joints.
- g. The NG-PM has submitted a Telephone Service Request (TSR) to Fairpoint and has the corresponding service account number. CM will coordinate with Fairpoint's government services representative and with the NH-PM for input from NH-A&E's tel/data design staff.
- h. Gas Service meters, related to emergency generator:
 - i. Generator meters shall be located on the building-side of the main meter, with the meter and feed to generator to be provided by CM.

Coordinate with Furniture and Equipment:

1. Prior to issuance of the NTP, the NG-PM will provide additional information to the project team regarding Furnishings and Equipment to be provided and/or installed by the Government.
2. The NG-PM will provide the project team with detailed information about IT requirements for the facilities. This information may require coordination adjustments to the design of associated electrical & mechanical work (verify w/ NG-PM).
3. The NG-PM stated that drawings defining layout of power, lighting and other utilities at the Fitness Room will be installed as shown, without the need for additional Guard coordination or adjustments to the design.

(END OF APPENDIX A)

APPENDIX B

Project #80342R, Contract G
Regional Training Institute Completion – Pembroke

Revised: 3/19/14, shown green, bold.

LETTER OF INTEREST, QUALIFICATIONS & PROPOSAL (LOIQP) SCORING CRITERIA:

The State is not obligated to award a contract and is free to reject any and all proposals at any time. The State shall review and evaluate LOIQP's per the following criteria:

SECTION A, CM FIRM QUALIFICATIONS:

Mandatory Requirements to be considered for the project:

1a	NH DOT prequalified for \$30 Million project:	YES / NO
1b	Obtain \$30 Million single project bonding:	YES / NO
1c	Have not been debarred or convicted:	YES / NO

Point Scoring Items (150 points):

*2a	Relevant projects / experience with completion contracts:	25 points
*2b	Relevant projects / experience with construction management:	25 points
*2c	Relevant projects / experience with National Guard &/or DoD work:	10 points
3	Current organization chart, structure & team members: <i>Description, names, info; Management plan; Roles for precon & construction; Team intro, resumes & references; individual and team experience; Current projects and roles; Joint venture associations (if any);</i>	30 points
4	Financial and Legal criteria:	30 points
5	CM Firm's References (minimum 3 in past 10 years):	30 points
** 6	See Section B below for additional criteria.	0 points
SEC A	SUBTOTAL, QUALIFICATIONS	150 points

* For projects, also include: Firm's role, contract type, contract name, location, award date, contract & actual completion dates, original & final contract price and complexity level.

** The following items shall be scored under Section B, below: Approach to project; Challenges & opportunities; ~~Team Members experience;~~ Development of GMP;

SECTION B, TECHNICAL PROPOSAL MATERIALS, Parts 1-5:

PART 1, Technical Qualifications (40 points):

1.1	Approach to managing project, meeting requirements: <i>Schedule & cost budget;</i>	10 points
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APPENDIX B

	<i>Completion contract; Opportunities & Challenges; LEED; SWPPP;</i>	
1.2	QA/QC Plan: <i>Description of firm's program (attach to proposal, separate)</i>	10 points
1.3	Site Logistics Plan and Safety Plan.	10 points
1.4	Development method for this GMP: <i>CSI breakdown; Include all costs; Hourly rates for CM services;</i>	10 points

PART 2 Pre-Construction Phase (40 points):

2.1	Coordination: <i>State Team; User; Concrete;</i>	5 points
2.2	Estimating: <i>Process; Quick response & accuracy; Related experience;</i>	10 points
2.3	Process to bid subcontract portions of work & present to State:	10 points
2.4	Tracking: <i>Construction to align w/ budget;</i>	10 points
2.5	Transition: <i>Preconstruction to Construction;</i>	5 points

PART 3 Construction Phase (50 points):

3.1	Construction Schedule: <i>User needs; Maintain delivery date;</i>	10 points
3.2	Coordination: <i>With State, User, A/E;</i>	10 points
3.3	Contingency: <i>Manage amount within GMP;</i>	5 points
3.4	Tracking: <i>Submittals, RFI's, ASI's, COR's, etc.</i>	5 points
3.5	Use of BIM and other technologies:	5 points
3.6	Local relationships (AHJ, FMO, etc):	3 points
3.7	Commissioning agent coordination:	5 points
3.8	Partial occupancy:	2 points
3.9	Project closeout procedures:	2 points
3.10	Warranty support:	3 points

PART 4 Project Work Plan (40 points):

4.1	Preliminary Project Work Plan Concept: <i>Tasks, dependencies schedule, milestones, deliverables; Sufficient detail;</i>	40 points
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PART 5 Workload (30 points):

5.1	Current Workload:	15 points
5.2	Capacity of Firm: <i>Current staff; Augment; Bonding ability;</i>	15 points

SEC B	SUBTOTAL, TECH. PROPOSALS	200 points
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APPENDIX B

A+B:	TOTAL: QUALS. + TECH. PROPOSALS	350 points
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Based upon total scores calculated through Sections A and B above, the State will select a group of no more than six (6) 'best qualified' CM firms who, on ~~April 17, 2014~~ will be notified of results. At that time, they will also be asked to meet with the State's project selection team for interviews that will be held on ~~April 14 and 15~~ **April 21 and 22, 2014**. Interviews will each be approximately 45 minutes long.

If any CM firm submits a proposal on or before the original LOIQP due date of March 27, 2014, the State will receive the early submittal and keep it unopened. The State will then contact the CM firm sender, advise him or her of the new due date of April 3, 2014 and where to find the third addendum (dated 3/18/14). Then the State will offer to return the LOIQP to the CM firm unopened if they wish to revise their LOIQP accordingly.

PART C INTERVIEW:

SEC C	SUBTOTAL, INTERVIEWS	60 points
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A+B+C	GRAND TOTAL: QUALS. + TECH. + INTERVIEW	410 points
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Upon completion of interviews, the three (3) 'best qualified' CM firms, with the highest combined scores from the LOIQP's and Interviews (PARTS A, B and C, above), will be invited to provide bids for a firm fixed price GMP contract. Bids will be opened and the contract will be awarded (if any award is made) to the CM firm providing the lowest bid that is responsive and responsible and that offers the best value to the State of New Hampshire.

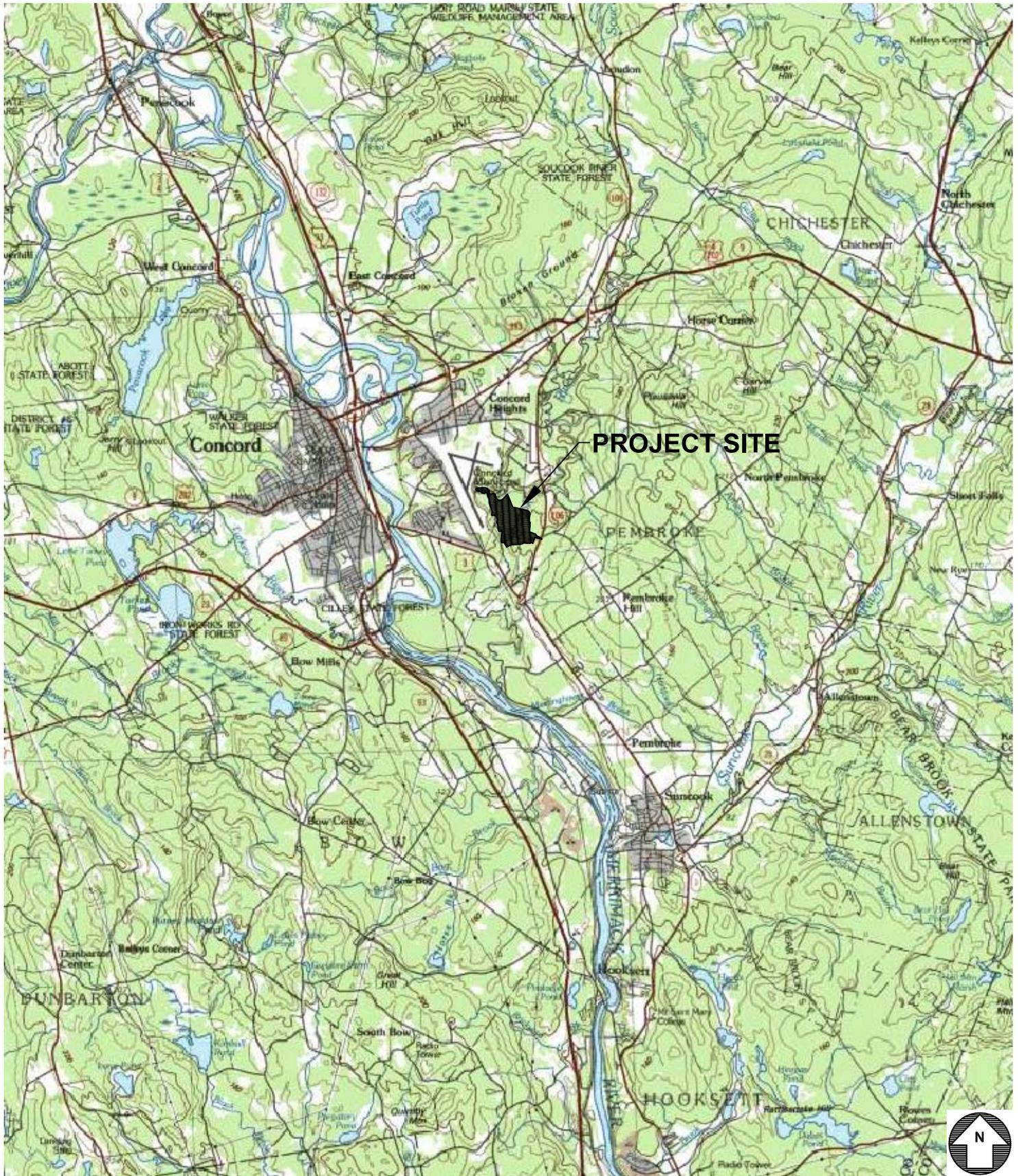
Disclosure of Reply Contents: All documentation produced as part of this RFP shall become the exclusive property of the State and may not be removed by the Vendor or its agents. All replies shall become the property of the State and shall not be returned to the Vendor. The State shall have the right to use any or all ideas or adaptation of the ideas presented in any reply. Selection or rejection of a reply shall not affect this right.

(END OF SCORING CRITERIA)

RTI CM COMPLETION CONTRACT
OVERVIEW DRAWINGS

Contents:

1. Site Location Map
 2. CL101: Site Layout Plan – South
 3. CL102: Site Layout Plan – North
 4. CG101: Grading Drainage and Erosion Control Plan – South
 5. CG102: Grading Drainage and Erosion Control Plan – North
 6. CU101: Utility Plan – South
 7. CU102: Utility Plan – North
 8. C302: Site and Layout Plan – Route 106 Intersection
 9. AE100: Keyplans – RTI Classroom Building
 10. AE110: Keyplans – Barracks Building
 11. AE201: Building Elevations, South and West – RTI
 12. AE202: Building Elevations, North and East – RTI
 13. AE211: Building Elevations, East and North – Barracks
 14. AE212: Building Elevations, West and South – Barracks
-



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**LOCATION
MAP**

**NEW HAMPSHIRE
ARMY NATIONAL GUARD**

Regional Training Institute (RTI)

DESIGNED BY: JSD
DRAWN BY: KSG
CHECKED BY: JSD

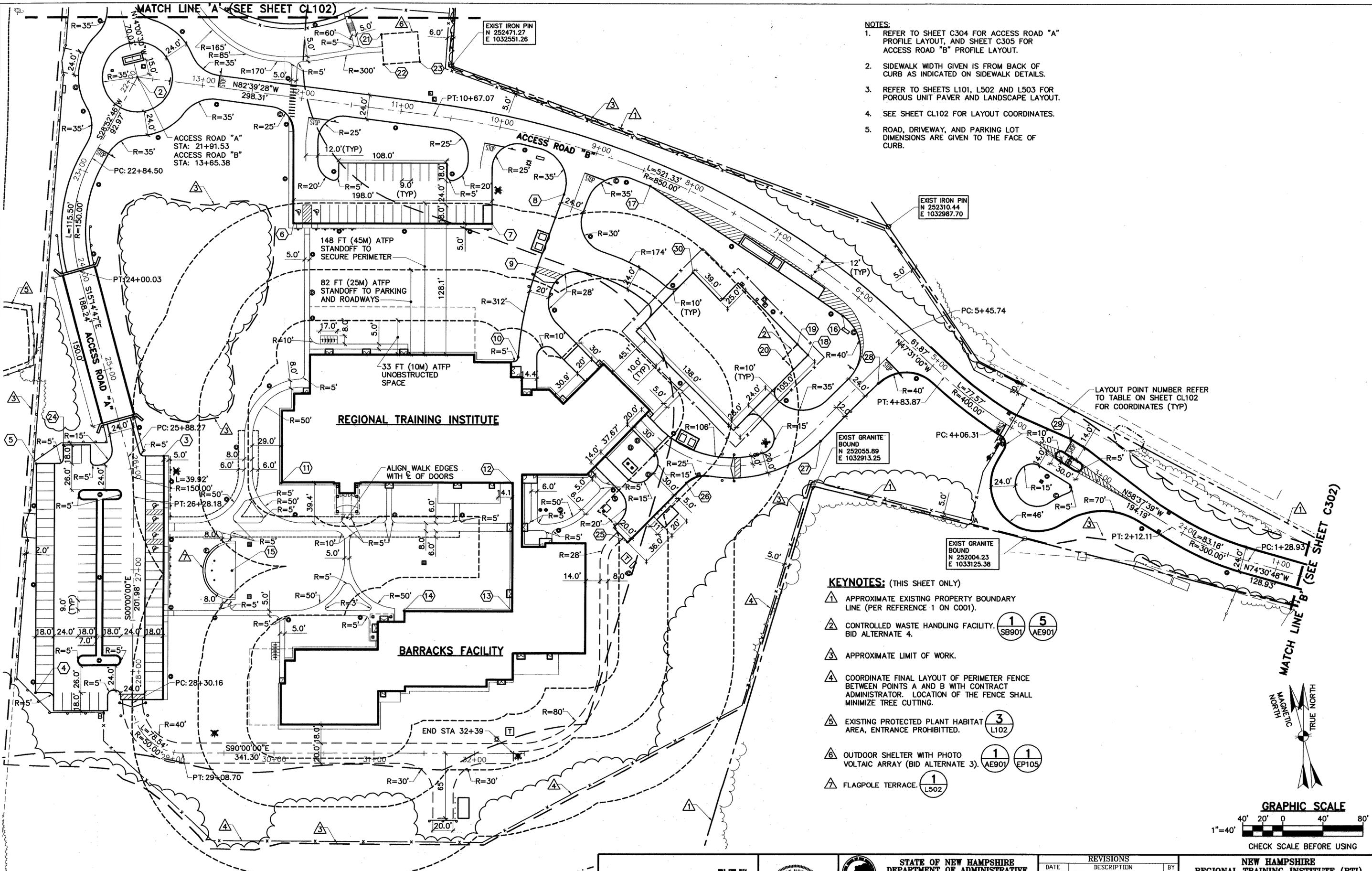
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SCALE: 1"=10,000'
DATE: JUNE 2009



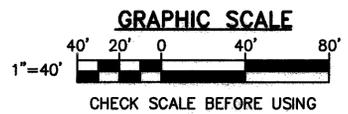
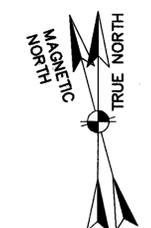
ARCHITECTURE ■ ENGINEERING ■ PLANNING
231 Main Street, Biddeford, Maine 04005 (T) 207.283.0193 (F) 207.283.4283
www.oakpoint.com

MATCH LINE 'A' (SEE SHEET CL102)

- NOTES:**
- REFER TO SHEET C304 FOR ACCESS ROAD "A" PROFILE LAYOUT, AND SHEET C305 FOR ACCESS ROAD "B" PROFILE LAYOUT.
 - SIDEWALK WIDTH GIVEN IS FROM BACK OF CURB AS INDICATED ON SIDEWALK DETAILS.
 - REFER TO SHEETS L101, L502 AND L503 FOR POROUS UNIT PAVER AND LANDSCAPE LAYOUT.
 - SEE SHEET CL102 FOR LAYOUT COORDINATES.
 - ROAD, DRIVEWAY, AND PARKING LOT DIMENSIONS ARE GIVEN TO THE FACE OF CURB.

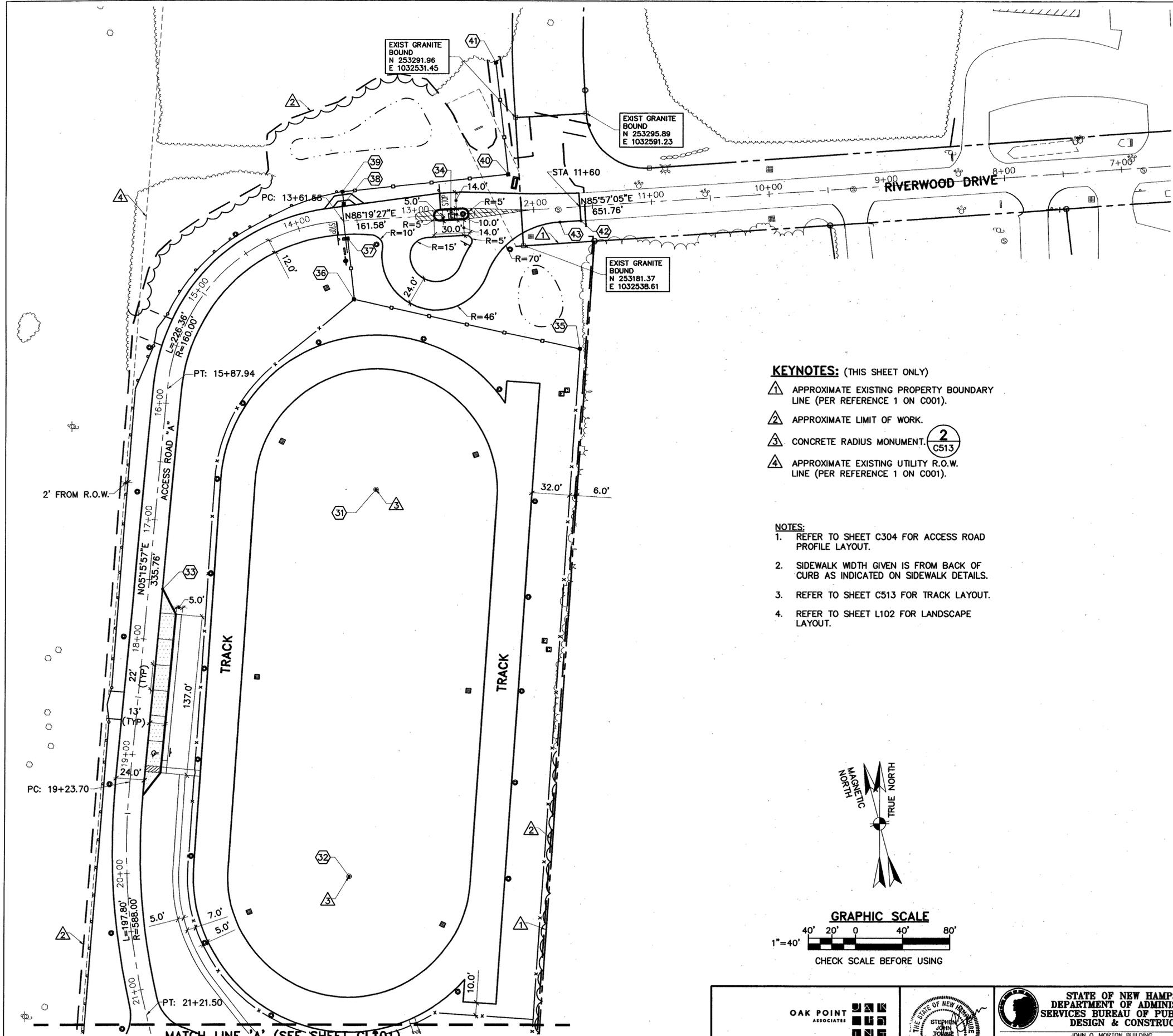


- KEYNOTES: (THIS SHEET ONLY)**
- △ APPROXIMATE EXISTING PROPERTY BOUNDARY LINE (PER REFERENCE 1 ON C001).
 - △ CONTROLLED WASTE HANDLING FACILITY. BID ALTERNATE 4. (SB901, AE901)
 - △ APPROXIMATE LIMIT OF WORK.
 - △ COORDINATE FINAL LAYOUT OF PERIMETER FENCE BETWEEN POINTS A AND B WITH CONTRACT ADMINISTRATOR. LOCATION OF THE FENCE SHALL MINIMIZE TREE CUTTING.
 - △ EXISTING PROTECTED PLANT HABITAT AREA, ENTRANCE PROHIBITED. (L102)
 - △ OUTDOOR SHELTER WITH PHOTO VOLTAIC ARRAY (BID ALTERNATE 3). (AE901, EP105)
 - △ FLAGPOLE TERRACE. (L502)



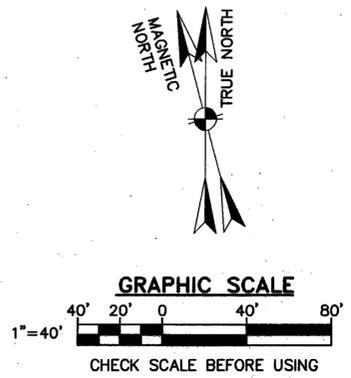
1 LAYOUT PLAN - SOUTH
C302, CL102, CL101 SCALE: 1"=40'

<p>OAK POINT ASSOCIATES</p> <p>66 Middle Street, Portsmouth, NH 03801 (T) 603.431.4849 (F) 603.431.1970 www.oakpoint.com</p>	<p>STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS DESIGN & CONSTRUCTION</p> <p>JOHN O. MORTON BUILDING 7 HAZEN DRIVE BOX 483 ROOM 250 CONCORD, NEW HAMPSHIRE 03302-0483 (603) 271-3516 FAX(603) 271-3515</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	DESCRIPTION	BY										<p>NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY PEMBROKE, NEW HAMPSHIRE</p> <p>LAYOUT PLAN - SOUTH</p> <p>PROJECT No. 80342 CONTRACT: B CL101 SHEET: 23 OF 280</p>
		DATE	DESCRIPTION	BY												
<p>ENGINEER/ARCHITECT: SUT DESIGNED BY: WAL APPROVED BY: SUT CHECKED BY: JLG</p>	<p>BROWN BY: JFO SCALE: AS NOTED DATE: 05/09/11</p>															



- KEYNOTES: (THIS SHEET ONLY)**
- ① APPROXIMATE EXISTING PROPERTY BOUNDARY LINE (PER REFERENCE 1 ON C001).
 - ② APPROXIMATE LIMIT OF WORK.
 - ③ CONCRETE RADIUS MONUMENT. 2
C513
 - ④ APPROXIMATE EXISTING UTILITY R.O.W. LINE (PER REFERENCE 1 ON C001).

- NOTES:**
1. REFER TO SHEET C304 FOR ACCESS ROAD PROFILE LAYOUT.
 2. SIDEWALK WIDTH GIVEN IS FROM BACK OF CURB AS INDICATED ON SIDEWALK DETAILS.
 3. REFER TO SHEET C513 FOR TRACK LAYOUT.
 4. REFER TO SHEET L102 FOR LANDSCAPE LAYOUT.



LAYOUT COORDINATES			
NUMBER	NORTHING	EASTING	DESCRIPTION
①	251948.07	1033472.77	BASELINE STA 0+00 (SHEET C302)
②	252459.17	1032237.79	BASELINE/CENTER POINT
③	252085.00	1032264.30	EDGE OF CONC
④	251853.00	1032137.30	EDGE OF CONC
⑤	252078.00	1032137.30	EDGE OF CONC
⑥	252313.22	1032393.93	EDGE OF PAVE/CURB
⑦	252313.22	1032591.93	EDGE OF PAVE/CURB
⑧	252342.09	1032663.70	EDGE OF PAVE/PC
⑨	252269.06	1032636.79	EDGE OF PAVE/PC
⑩	252182.49	1032618.28	EDGE OF PAVE/PC
⑪	252058.42	1032381.93	BUILDING CORNER*
⑫	252058.42	1032612.59	BUILDING CORNER*
⑬	251932.44	1032612.59	BUILDING CORNER*
⑭	251932.44	1032505.18	BUILDING CORNER*
⑮	251972.21	1032332.96	CENTER POINT
⑯	252223.03	1032942.43	EDGE OF PAVE/PC
⑰	252350.55	1032749.74	EDGE OF PAVE
⑱	252184.80	1032907.83	BUILDING CORNER*
⑲	252195.41	1032897.22	BUILDING CORNER*
⑳	252181.27	1032883.08	BUILDING CORNER*
㉑	252502.50	1032481.45	CORNER CONCRETE PAD
㉒	252472.58	1032483.69	CORNER CONCRETE PAD
㉓	252475.27	1032519.58	CORNER CONCRETE PAD
㉔	252096.00	1032164.30	EDGE OF PAVE
㉕	252000.78	1032727.99	EDGE OF PAVE/CURB
㉖	252059.25	1032786.46	EDGE OF PAVE/PC
㉗	252100.11	1032920.56	EDGE OF PAVE/PC
㉘	252156.56	1032977.98	EDGE OF PAVE/PC
㉙	252084.89	1033172.01	ISLAND MID POINT/EOP
㉚	252264.70	1032792.57	EDGE OF PAVE
㉛	252972.20	1032414.02	TRACK CENTER POINT
㉜	252644.84	1032392.31	TRACK CENTER POINT
㉝	252888.61	1032233.11	EDGE OF PAVE/CONC
㉞	253213.62	1032476.99	ISLAND MID POINT/EOP
㉟	253092.96	1032586.37	MASONRY FENCE POST
㊱	253134.63	1032394.84	MASONRY FENCE POST
㊲	253187.29	1032389.47	MASONRY FENCE POST
㊳	253217.61	1032386.15	MASONRY FENCE POST
㊴	253228.05	1032385.00	MASONRY FENCE POST
㊵	253243.43	1032525.33	MASONRY FENCE POST
㊶	253339.60	1032514.79	MASONRY FENCE POST
㊷	253203.66	1032587.17	EDGE OF PAVE
㊸	253202.52	1032569.29	EDGE OF PAVE/PC

* BUILDING CORNERS ARE CORNER OF FOUNDATION

MATCH LINE 'A' (SEE SHEET CL101)
1 LAYOUT PLAN-NORTH

CL101 CL102 SCALE: 1"=40'

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STATE OF NEW HAMPSHIRE
 DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS
 DESIGN & CONSTRUCTION

JOHN O. MORTON BUILDING
 7 HAZEN DRIVE BOX 483 ROOM 250
 CONCORD, NEW HAMPSHIRE 03302-0483
 (603) 271-3516 FAX(603) 271-3515

ENGINEER/ARCHITECT: SJT
 DESIGNED BY: WAL
 APPROVED BY: SJT
 CHECKED BY: JLG

REVISIONS		
DATE	DESCRIPTION	BY

NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY PEMBROKE, NEW HAMPSHIRE

LAYOUT PLAN - NORTH

PROJECT No. 80342
 CONTRACT # 8

DRAWN BY: JFO
 SCALE: AS NOTED
 DATE: 05/09/11

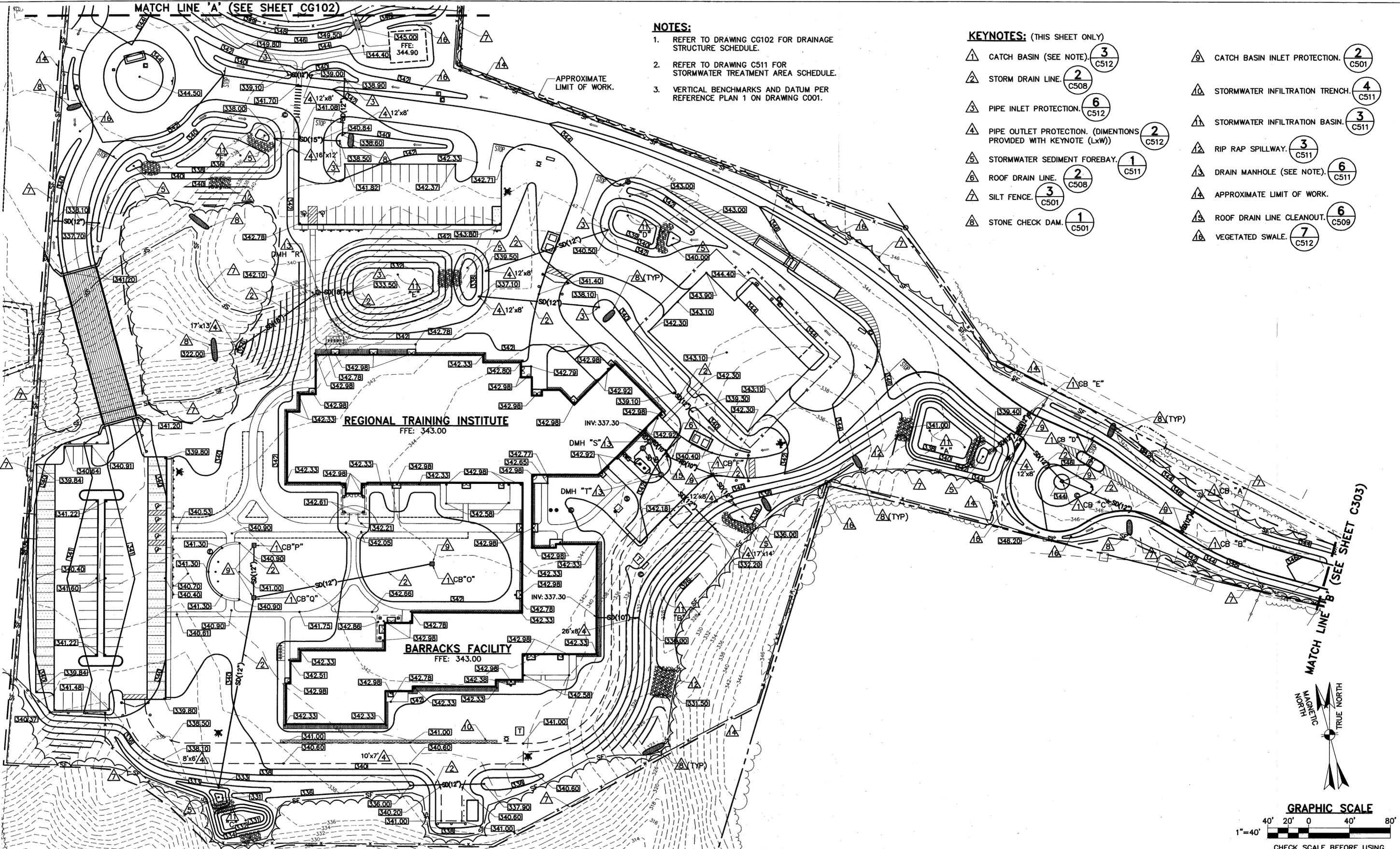
CL102
 SHEET 24 OF 280

MATCH LINE 'A' (SEE SHEET CG102)

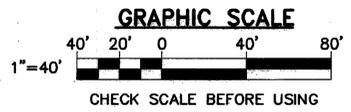
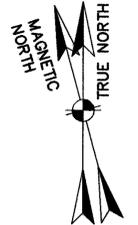
- NOTES:**
- REFER TO DRAWING CG102 FOR DRAINAGE STRUCTURE SCHEDULE.
 - REFER TO DRAWING C511 FOR STORMWATER TREATMENT AREA SCHEDULE.
 - VERTICAL BENCHMARKS AND DATUM PER REFERENCE PLAN 1 ON DRAWING C001.

KEYNOTES: (THIS SHEET ONLY)

- ▲ CATCH BASIN (SEE NOTE) **3** C512
- ▲ CATCH BASIN INLET PROTECTION. **2** C501
- ▲ STORM DRAIN LINE. **2** C508
- ▲ STORMWATER INFILTRATION TRENCH. **4** C511
- ▲ PIPE INLET PROTECTION. **6** C512
- ▲ STORMWATER INFILTRATION BASIN. **3** C511
- ▲ PIPE OUTLET PROTECTION. (DIMENSIONS PROVIDED WITH KEYNOTE (LxW)) **2** C512
- ▲ RIP RAP SPILLWAY. **3** C511
- ▲ STORMWATER SEDIMENT FOREBAY. **1** C511
- ▲ DRAIN MANHOLE (SEE NOTE). **6** C511
- ▲ ROOF DRAIN LINE. **2** C508
- ▲ SILT FENCE. **3** C501
- ▲ APPROXIMATE LIMIT OF WORK.
- ▲ STONE CHECK DAM. **1** C501
- ▲ ROOF DRAIN LINE CLEANOUT. **6** C509
- ▲ VEGETATED SWALE. **7** C512



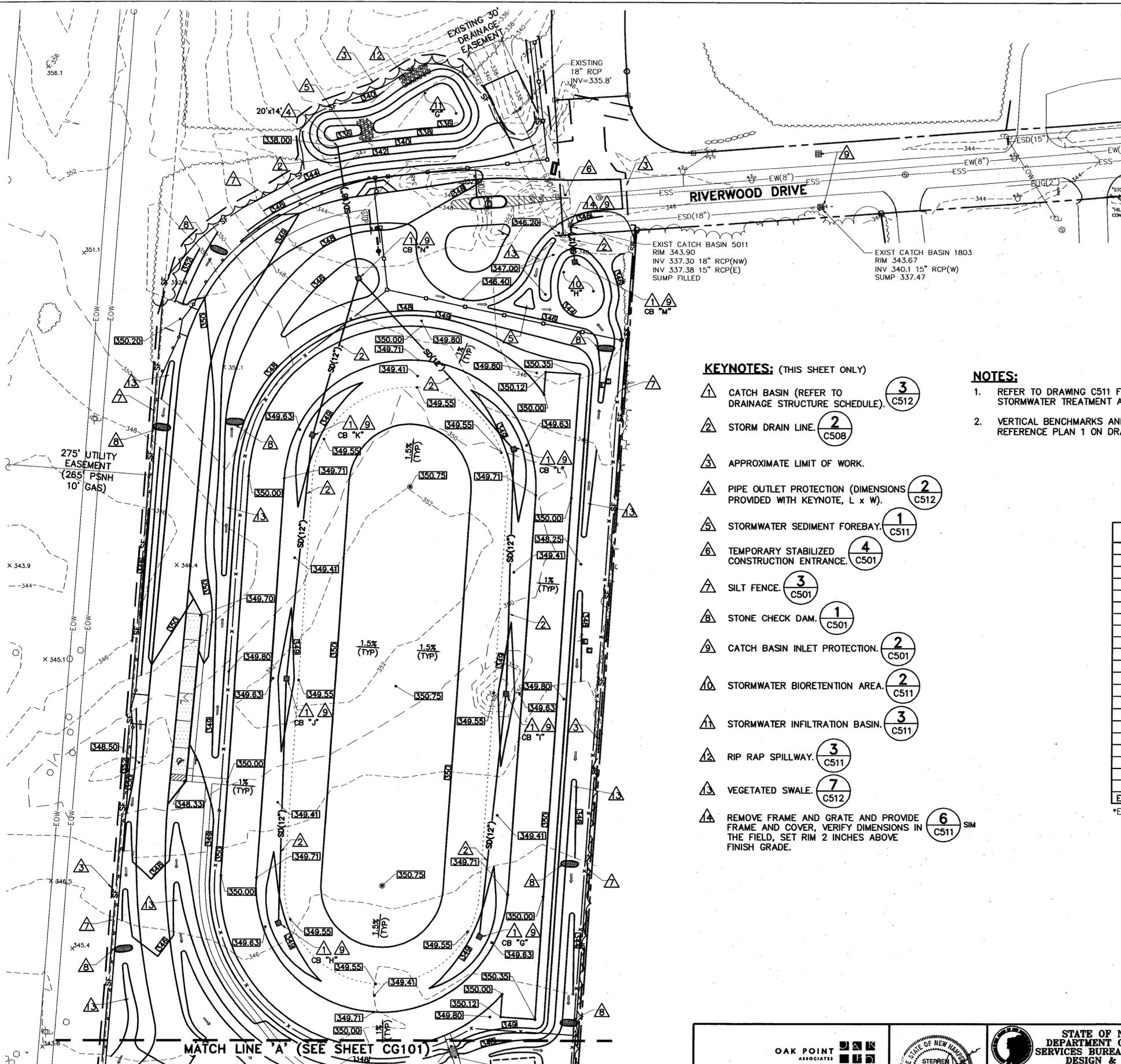
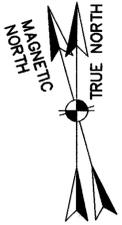
MATCH LINE 'B' (SEE SHEET C303)



1 GRADING, DRAINAGE, AND EROSION CONTROL PLAN - SOUTH

CG101 SCALE: 1"=40'

<p>OAK POINT ASSOCIATES</p> <p>65 Middle Street, Portsmouth, NH 03801 (T) 603.431.4849 (F) 603.431.1870</p>		<p>STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS DESIGN & CONSTRUCTION</p> <p>JOHN O. MORTON BUILDING 7 HAZEN DRIVE BOX 483 ROOM 250 CONCORD, NEW HAMPSHIRE 03302-0483 (603) 271-3516 FAX(603) 271-3515</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	DESCRIPTION	BY				<p>NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY GRADING, DRAINAGE, AND EROSION CONTROL PLAN - SOUTH</p> <p>PROJECT No. 80342 CONTRACT: B</p>
			DATE	DESCRIPTION	BY						
<p>ENGINEER/ARCHITECT: SUT</p> <p>DESIGNED BY: WAL</p> <p>APPROVED BY: SJT</p> <p>CHECKED BY: JLG</p>	<p>DRAWN BY: JFO</p> <p>SCALE: AS NOTED</p> <p>DATE: 05/09/11</p>	<p>CG101</p> <p>SHEET: 25 OF 380</p>									



KEYNOTES: (THIS SHEET ONLY)

- 1 CATCH BASIN (REFER TO DRAINAGE STRUCTURE SCHEDULE). 3 C512
- 2 STORM DRAIN LINE. 2 C508
- 3 APPROXIMATE LIMIT OF WORK.
- 4 PIPE OUTLET PROTECTION (DIMENSIONS PROVIDED WITH KEYNOTE, L x W). 2 C512
- 5 STORMWATER SEDIMENT FOREBAY. 1 C511
- 6 TEMPORARY STABILIZED CONSTRUCTION ENTRANCE. 4 C501
- 7 SILT FENCE. 3 C501
- 8 STONE CHECK DAM. 1 C501
- 9 CATCH BASIN INLET PROTECTION. 2 C501
- 10 STORMWATER BIORETENTION AREA. 2 C511
- 11 STORMWATER INFILTRATION BASIN. 3 C511
- 12 RIP RAP SPILLWAY. 3 C511
- 13 VEGETATED SWALE. 7 C512
- 14 REMOVE FRAME AND GRATE AND PROVIDE FRAME AND COVER, VERIFY DIMENSIONS IN THE FIELD, SET RIM 2 INCHES ABOVE FINISH GRADE. 6 C511 SIM

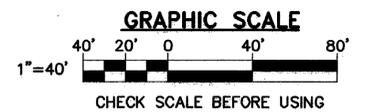
NOTES:

1. REFER TO DRAWING C511 FOR STORMWATER TREATMENT AREA SCHEDULE.
2. VERTICAL BENCHMARKS AND DATUM PER REFERENCE PLAN 1 ON DRAWING C001.

DRAINAGE STRUCTURE SCHEDULE

	RIM	INV IN	INV IN	INV IN	INV OUT
CB "A"	344.03				341.00
CB "B"	344.03	340.90			340.80
CB "C"	343.80	340.10			340.00
CB "D"	346.73	339.70(E)	341.30(N)		339.60
CB "E"	346.73				341.50
CB "F"	340.60	336.70			336.60
CB "G"	348.41				343.60
CB "H"	348.41				343.60
CB "I"	348.41	342.60			342.50
CB "J"	348.41	342.60			342.50
CB "K"	348.41	341.50			341.40
CB "L"	348.41	341.50			341.40
CB "M"	344.50				340.50
CB "N"	345.20	340.40	340.40		340.30
CB "O"	341.00				336.50
CB "P"	340.46				335.30
CB "Q"	340.46	334.80	334.80		334.70
DMH "R"	342.00	331.30			331.20
DMH "S"	342.40	337.10(NW)	338.10(SE)		337.00(SW)
DMH "T"	341.70	333.30(NW)	334.50(W)	337.70(N)	333.20(SE)
ECB "5011"	346.00	339.90(S)	337.38*		337.30*

*EXISTING ELEVATION



MATCH LINE 'A' (SEE SHEET CG101)

1 GRADING, DRAINAGE, AND EROSION CONTROL PLAN - NORTH
CG101 CG102 SCALE: 1"=40'

			STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS DESIGN & CONSTRUCTION			REVISIONS DATE DESCRIPTION BY		NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY PEMBROKE, NEW HAMPSHIRE
			JOHN O. MORTON BUILDING 7 HAZEN DRIVE BOX 483 ROOM 250 CONCORD, NEW HAMPSHIRE 03302-0483 (603) 271-3516 FAX(603) 271-3515			PROJECT No. 00042 CONTRACT No.		
ENGINEER/ARCHITECT: SJT DESIGNER BY: WAL APPROVED BY: SJT CHECKED BY: SES			DRAWN BY: JFO SCALE: AS NOTED DATE: 05/09/11		SHEET: 28 OF 380			

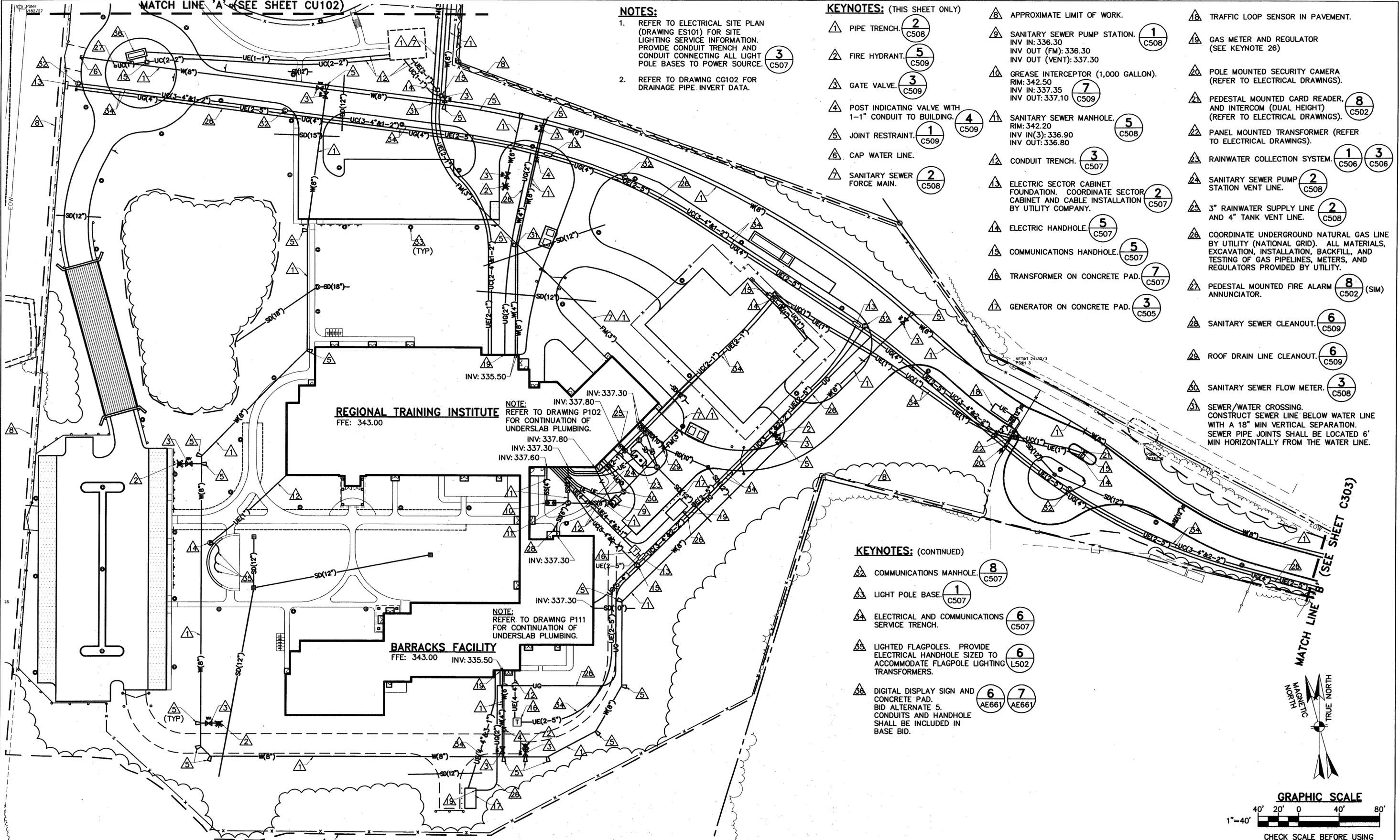
MATCH LINE 'A' (SEE SHEET CU102)

NOTES:

- REFER TO ELECTRICAL SITE PLAN (DRAWING ES101) FOR SITE LIGHTING SERVICE INFORMATION. PROVIDE CONDUIT TRENCH AND CONDUIT CONNECTING ALL LIGHT POLE BASES TO POWER SOURCE.
- REFER TO DRAWING CG102 FOR DRAINAGE PIPE INVERT DATA.

KEYNOTES: (THIS SHEET ONLY)

- 1 PIPE TRENCH. (2) C508
- 2 FIRE HYDRANT. (5) C509
- 3 GATE VALVE. (3) C509
- 4 POST INDICATING VALVE WITH 1-1" CONDUIT TO BUILDING. (4) C509
- 5 JOINT RESTRAINT. (1) C509
- 6 CAP WATER LINE.
- 7 SANITARY SEWER FORCE MAIN. (2) C508
- 8 APPROXIMATE LIMIT OF WORK.
- 9 SANITARY SEWER PUMP STATION. (1) C508
INV IN: 336.30
INV OUT (FM): 336.30
INV OUT (VENT): 337.30
- 10 GREASE INTERCEPTOR (1,000 GALLON). RIM: 342.50
INV IN: 337.35
INV OUT: 337.10 (7) C509
- 11 SANITARY SEWER MANHOLE. RIM: 342.20
INV IN(3): 336.90
INV OUT: 336.80 (5) C508
- 12 CONDUIT TRENCH. (3) C507
- 13 ELECTRIC SECTOR CABINET FOUNDATION. COORDINATE SECTOR CABINET AND CABLE INSTALLATION BY UTILITY COMPANY. (2) C507
- 14 ELECTRIC HANDHOLE. (5) C507
- 15 COMMUNICATIONS HANDHOLE. (5) C507
- 16 TRANSFORMER ON CONCRETE PAD. (7) C507
- 17 GENERATOR ON CONCRETE PAD. (3) C505
- 18 TRAFFIC LOOP SENSOR IN PAVEMENT.
- 19 GAS METER AND REGULATOR (SEE KEYNOTE 26)
- 20 POLE MOUNTED SECURITY CAMERA (REFER TO ELECTRICAL DRAWINGS).
- 21 PEDESTAL MOUNTED CARD READER, AND INTERCOM (DUAL HEIGHT) (REFER TO ELECTRICAL DRAWINGS).
- 22 PANEL MOUNTED TRANSFORMER (REFER TO ELECTRICAL DRAWINGS).
- 23 RAINWATER COLLECTION SYSTEM. (1) C506 (3) C506
- 24 SANITARY SEWER PUMP STATION VENT LINE. (2) C508
- 25 3" RAINWATER SUPPLY LINE AND 4" TANK VENT LINE. (2) C508
- 26 COORDINATE UNDERGROUND NATURAL GAS LINE BY UTILITY (NATIONAL GRID). ALL MATERIALS, EXCAVATION, INSTALLATION, BACKFILL, AND TESTING OF GAS PIPELINES, METERS, AND REGULATORS PROVIDED BY UTILITY.
- 27 PEDESTAL MOUNTED FIRE ALARM ANNUNCIATOR. (8) C502 (SIM)
- 28 SANITARY SEWER CLEANOUT. (6) C509
- 29 ROOF DRAIN LINE CLEANOUT. (6) C509
- 30 SANITARY SEWER FLOW METER. (3) C508
- 31 SEWER/WATER CROSSING. CONSTRUCT SEWER LINE BELOW WATER LINE WITH A 18" MIN VERTICAL SEPARATION. SEWER PIPE JOINTS SHALL BE LOCATED 6' MIN HORIZONTALLY FROM THE WATER LINE.



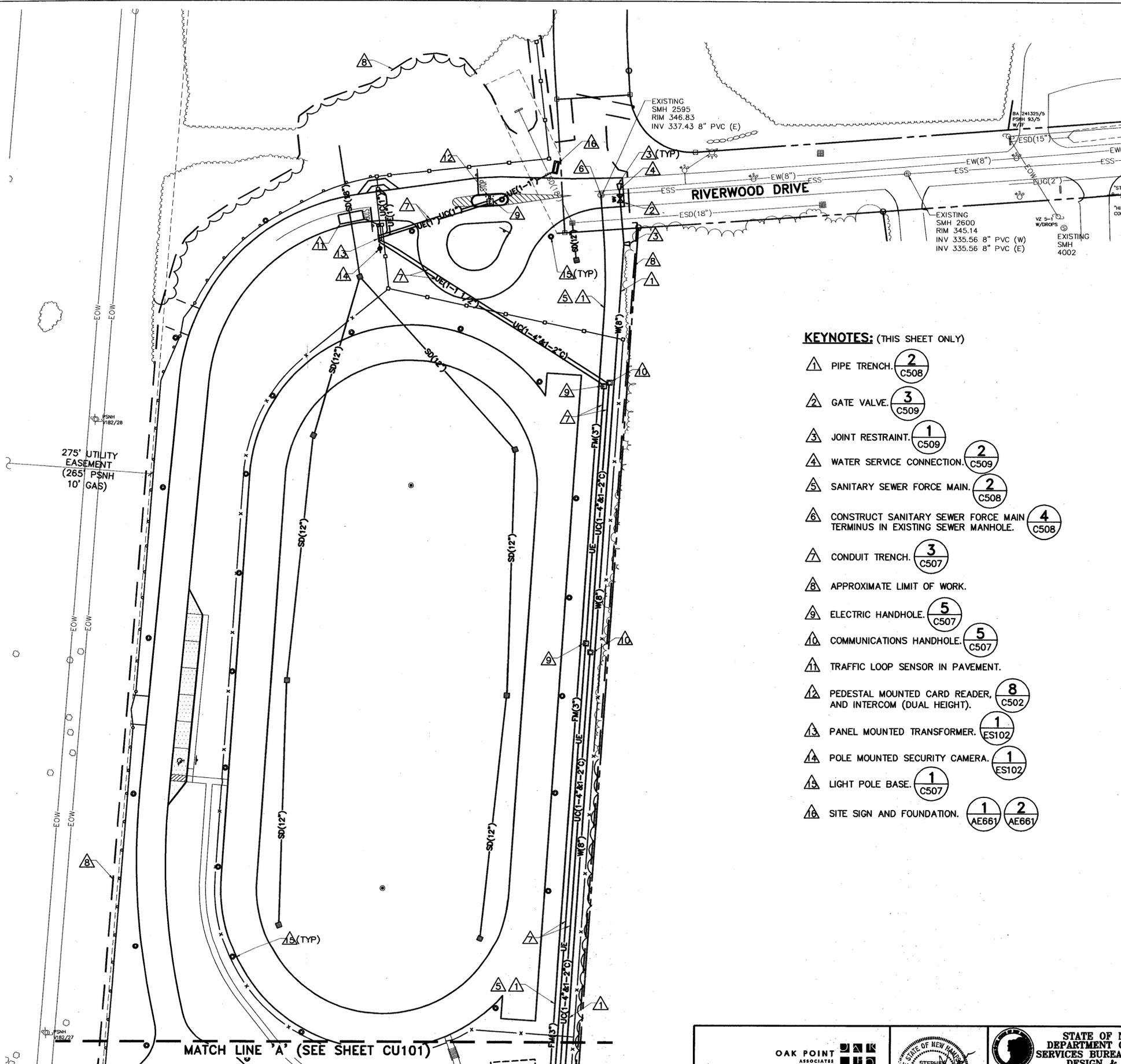
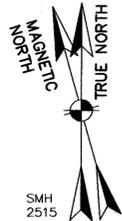
KEYNOTES: (CONTINUED)

- 32 COMMUNICATIONS MANHOLE. (8) C507
- 33 LIGHT POLE BASE. (1) C507
- 34 ELECTRICAL AND COMMUNICATIONS SERVICE TRENCH. (6) C507
- 35 LIGHTED FLAGPOLES. PROVIDE ELECTRICAL HANDHOLE SIZED TO ACCOMMODATE FLAGPOLE LIGHTING TRANSFORMERS. (6) L502
- 36 DIGITAL DISPLAY SIGN AND CONCRETE PAD. BID ALTERNATE 5. CONDUITS AND HANDHOLE SHALL BE INCLUDED IN BASE BID. (6) AE661 (7) AE661

1 UTILITY PLAN-SOUTH
CU101 SCALE: 1"=40'

C303.CU102

<p>OAK POINT ASSOCIATES</p> <p>ARCHITECTURE • ENGINEERING • PLANNING</p> <p>85 Middle Street, Portsmouth, NH 03801 (T) 603.431.4846 (F) 603.431.1870 www.oakpoint.com</p>	<p>STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS DESIGN & CONSTRUCTION</p> <p>JOHN O. MORTON BUILDING 7 HAZEN DRIVE BOX 483 ROOM 250 CONCORD, NEW HAMPSHIRE 03302-0483 (603) 271-3516 FAX(603) 271-3515</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	DESCRIPTION	BY										<p>NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY PEMBROKE, NEW HAMPSHIRE</p>
		DATE	DESCRIPTION	BY												
<p>ENGINEER/ARCHITECT: S/JT DESIGNED BY: WAL APPROVED BY: S/JT CHECKED BY: J/LG</p>	<p>DRAWN BY: JFO SCALE: AS NOTED DATE: 05/09/11</p>	<p>PROJECT NO: 00342 CONTRACT: B</p>	<p>UTILITY PLAN - SOUTH</p> <p>CU101</p> <p>SHEET: 27 OF 380</p>													

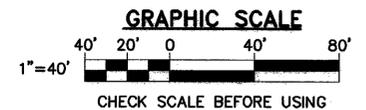


KEYNOTES: (THIS SHEET ONLY)

- △ PIPE TRENCH. **2** C508
- △ GATE VALVE. **3** C509
- △ JOINT RESTRAINT. **1** C509
- △ WATER SERVICE CONNECTION. **2** C509
- △ SANITARY SEWER FORCE MAIN. **2** C508
- △ CONSTRUCT SANITARY SEWER FORCE MAIN TERMINUS IN EXISTING SEWER MANHOLE. **4** C508
- △ CONDUIT TRENCH. **3** C507
- △ APPROXIMATE LIMIT OF WORK.
- △ ELECTRIC HANDHOLE. **5** C507
- △ COMMUNICATIONS HANDHOLE. **5** C507
- △ TRAFFIC LOOP SENSOR IN PAVEMENT.
- △ PEDESTAL MOUNTED CARD READER, AND INTERCOM (DUAL HEIGHT). **8** C502
- △ PANEL MOUNTED TRANSFORMER. **1** ES102
- △ POLE MOUNTED SECURITY CAMERA. **1** ES102
- △ LIGHT POLE BASE. **1** C507
- △ SITE SIGN AND FOUNDATION. **1** AE661 **2** AE661

NOTES:

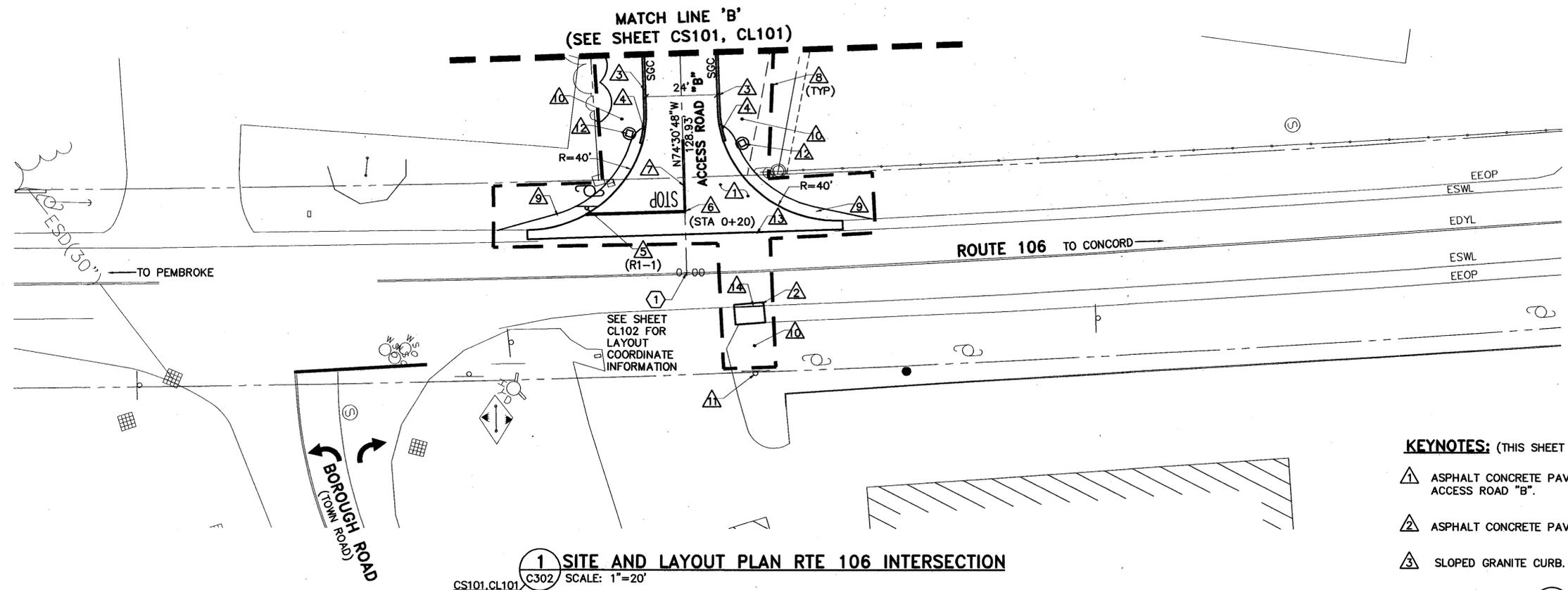
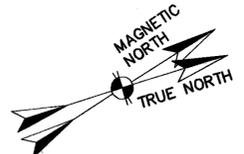
1. REFER TO ELECTRICAL SITE PLAN (DRAWING ES102) FOR SITE LIGHTING SERVICE INFORMATION. PROVIDE CONDUIT TRENCH AND CONDUIT CONNECTING ALL LIGHT POLE BASES TO POWER SOURCE. **3** C507
2. REFER TO DRAWING CG102 FOR DRAINAGE PIPE INVERT DATA.



MATCH LINE 'A' (SEE SHEET CU101)

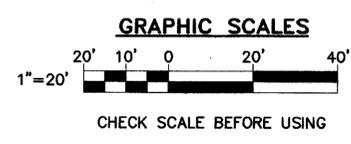
1 UTILITY PLAN - NORTH
 CU101 CU102 SCALE: 1"=40'

 OAK POINT ASSOCIATES ARCHITECTURE • ENGINEERING • PLANNING 95 Middle Street, Portsmouth, NH 03801 (T) 603.431.4849 (F) 603.431.1670 www.oakpoint.com			STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS DESIGN & CONSTRUCTION			REVISIONS DATE DESCRIPTION BY		NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY PEMBROKE, NEW HAMPSHIRE UTILITY PLAN - NORTH PROJECT No. 80342 CONTRACT: B CU102
			JOHN O. MORTON BUILDING 7 HAZEN DRIVE BOX 483 ROOM 250 CONCORD, NEW HAMPSHIRE 03302-0483 (603) 271-3516 FAX(603) 271-3515	ENGINEER/ARCHITECT: SJT DESIGNED BY: WAL APPROVED BY: SJT CHECKED BY: JLG	DRAWN BY: JFO SCALE: AS NOTED DATE: 05/09/11	SHEET: 28 OF 380		



1 SITE AND LAYOUT PLAN RTE 106 INTERSECTION
 CS101.CL101 C302 SCALE: 1"=20'

- KEYNOTES: (THIS SHEET ONLY)**
- ▲ ASPHALT CONCRETE PAVEMENT ACCESS ROAD "B". (1 C502) (1 C305)
 - ▲ ASPHALT CONCRETE PAVEMENT (TYPE B). (1 C502)
 - ▲ SLOPED GRANITE CURB. (9 C502)
 - ▲ TIP-DOWN CURB. (9 C502)
 - ▲ SIGN POST AND SIGN. (1 C503)
 - ▲ PAVEMENT MARKING - STOP BAR AND LEGEND. (3 C503)
 - ▲ PAVEMENT MARKING - 4" WIDE X 25' LONG DOUBLE YELLOW PAINTED LINE.
 - ▲ APPROXIMATE LIMIT OF WORK.
 - ▲ 4' WIDE GRAVEL SHOULDER. (4 C502) (SIM)
 - ▲ 6" PLANTING SOIL AND TURF. (REFER TO DRAWING L101 FOR TURF TYPES)
 - ▲ REINSTALL EXISTING SIGN AND POST. (1 C503) (SIM)
 - ▲ LIGHT POLE FOUNDATION. (1 C507)
 - ▲ STAGGERED PAVEMENT JOINT. (10 C502)
 - ▲ PAVEMENT MARKING - 4" WIDE SINGLE WHITE PAINTED LINE (COMPLETE LINE REMOVED FOR CONSTRUCTION 10'±).



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THE STATE OF NEW HAMPSHIRE

STEPHEN JOHN TOWNIE
 LICENSE NO. 6910
 PROFESSIONAL ENGINEER

5/19/11
 PLACE STAMP HERE

STATE OF NEW HAMPSHIRE
 DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS
 DESIGN & CONSTRUCTION

JOHN O. MORTON BUILDING
 7 HAZEN DRIVE BOX 483 ROOM 250
 CONCORD, NEW HAMPSHIRE 03302-0483
 (603) 271-3516 FAX(603) 271-3515

ENGINEER/ARCHITECT: SJT DESIGNED BY: WAL APPROVED BY: SJT CHECKED BY: JLG

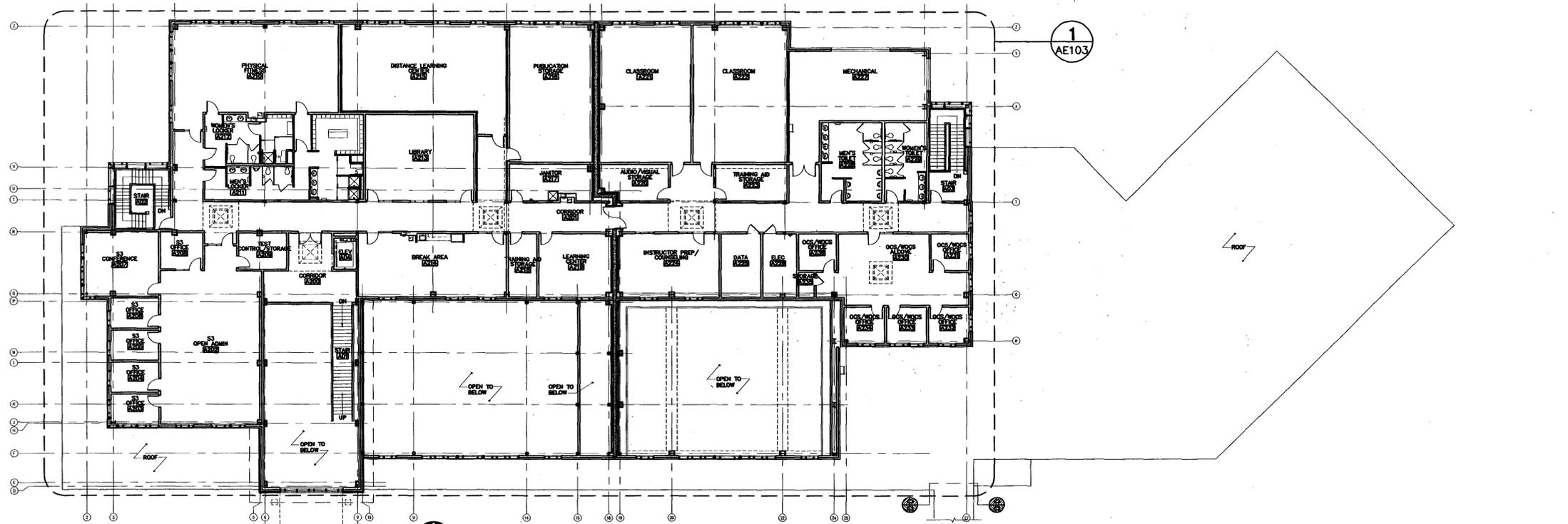
REVISIONS		
DATE	DESCRIPTION	BY

NEW HAMPSHIRE
 REGIONAL TRAINING INSTITUTE (RTI)
 AND BARRACKS FACILITY
 PEMBROKE, NEW HAMPSHIRE

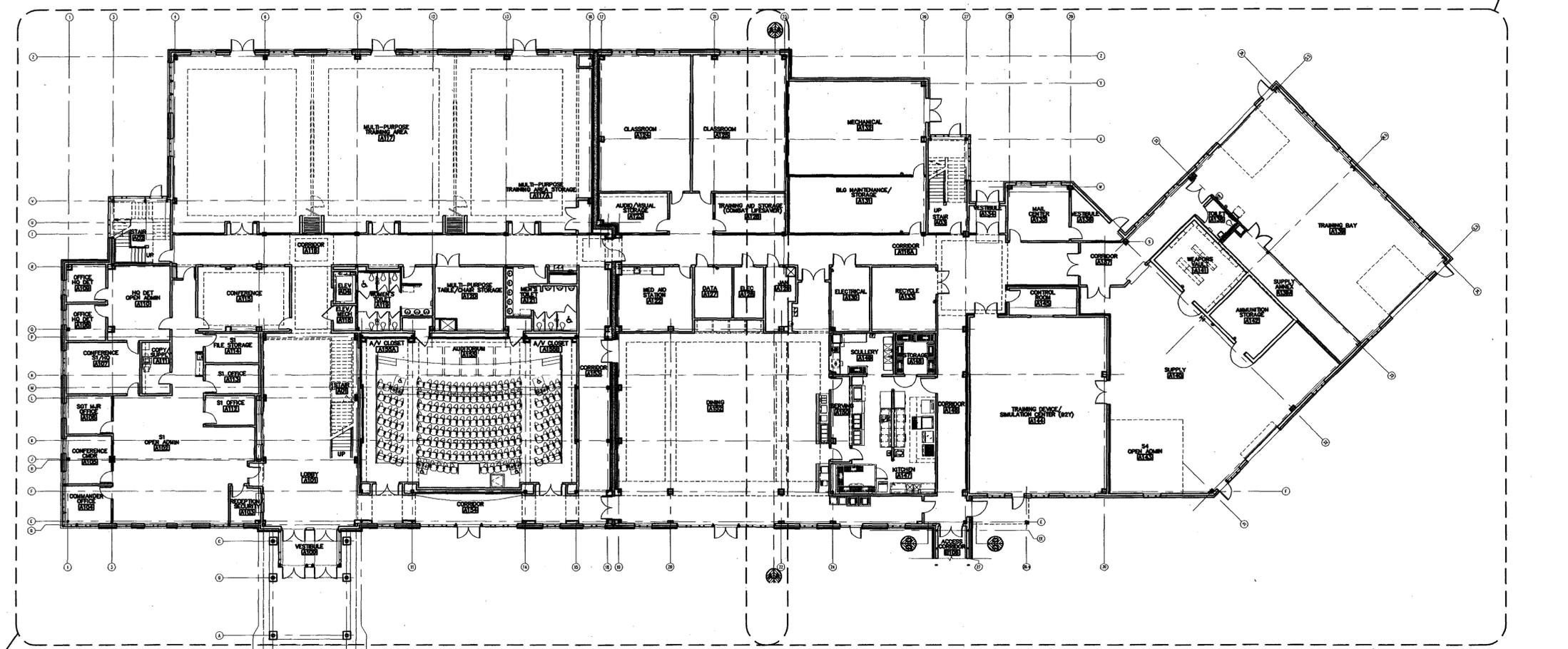
**SITE AND LAYOUT PLAN
 ROUTE 106 INTERSECTION**

PROJECT NO. ROAD CONTRACT: B
C302

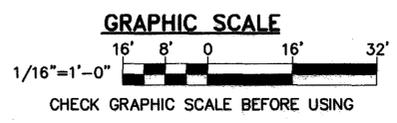
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2 SECOND FLOOR KEYPLAN - RTI
 AE100 SCALE: 1/16"=1'-0"
 PLAN NORTH



1 FIRST FLOOR KEYPLAN - RTI
 AE100 SCALE: 1/16"=1'-0"
 PLAN NORTH



1 AE101

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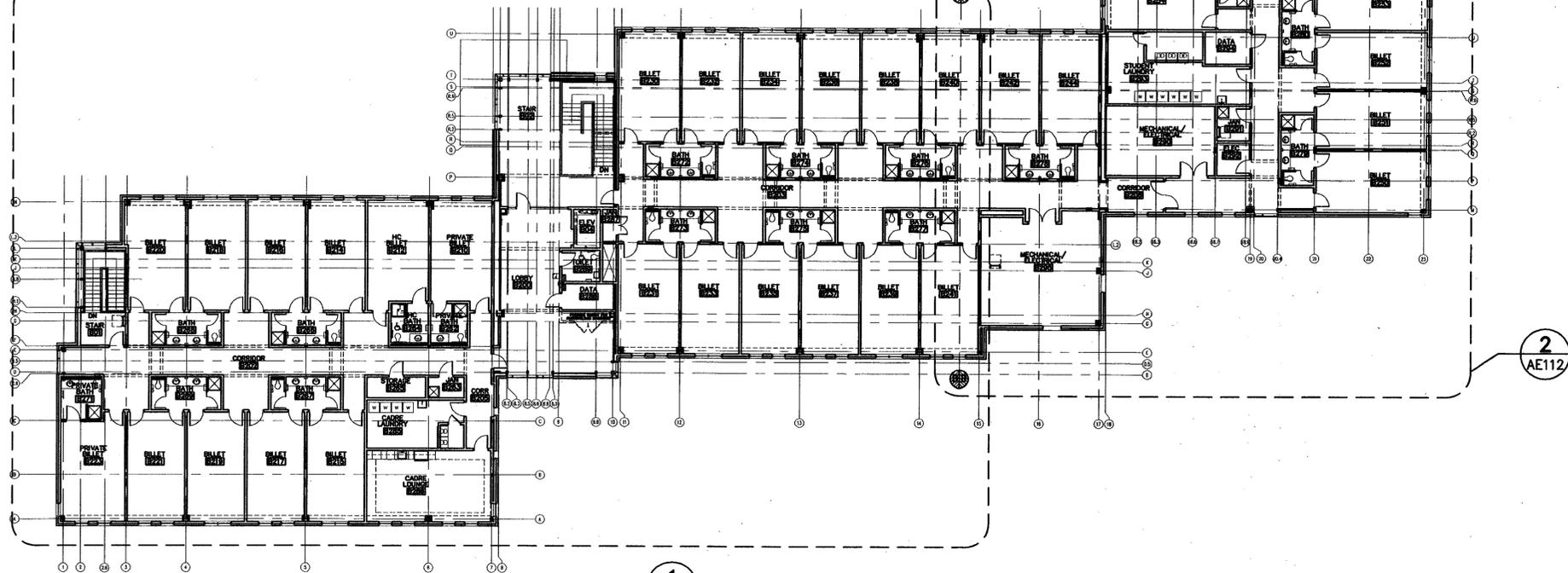
ROBERT S. HUGHES No. 2852
 LICENSED ARCHITECT
 STATE OF NEW HAMPSHIRE
 PLACE STAMP HERE

STATE OF NEW HAMPSHIRE
 DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS
 DESIGN & CONSTRUCTION
 JOHN O. NORTON BUILDING
 7 HAZEN DRIVE BOX 483 ROOM 250
 CONCORD, NEW HAMPSHIRE 03302-0483
 (603) 271-3516 FAX(603) 271-3515

REVISIONS		
DATE	DESCRIPTION	BY

NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY PEMBROKE, NEW HAMPSHIRE
KEYPLANS - RTI
 PROJECT No. 80342 CONTRACT: B
 AE100
 DRAWN BY: SAS SCALE: AS NOTED DATE: 05/09/11 SHEET: 131 OF 380

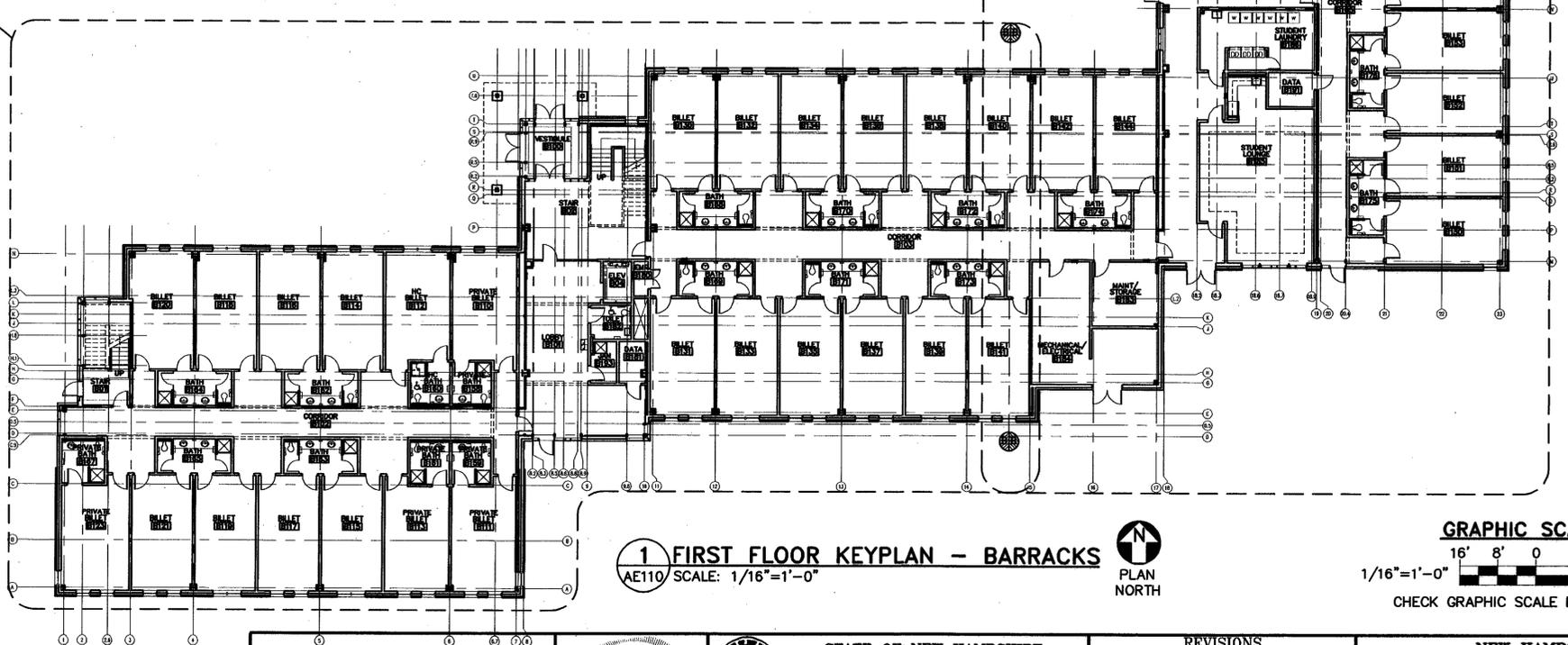
1
AE113



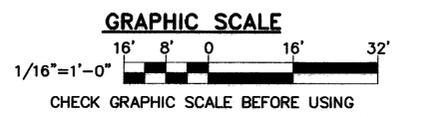
2 SECOND FLOOR KEYPLAN - BARRACKS
 AE110 SCALE: 1/16"=1'-0"



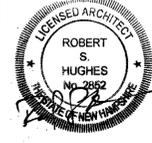
1
AE111



1 FIRST FLOOR KEYPLAN - BARRACKS
 AE110 SCALE: 1/16"=1'-0"



OAK POINT ASSOCIATES



**STATE OF NEW HAMPSHIRE
 DEPARTMENT OF ADMINISTRATIVE
 SERVICES BUREAU OF PUBLIC WORKS
 DESIGN & CONSTRUCTION**

JOHN G. MORTON BUILDING
 7 HAZEN DRIVE BOX 483 ROOM 250
 CONCORD, NEW HAMPSHIRE 03302-0483
 (603) 271-3516 FAX(603) 271-3515

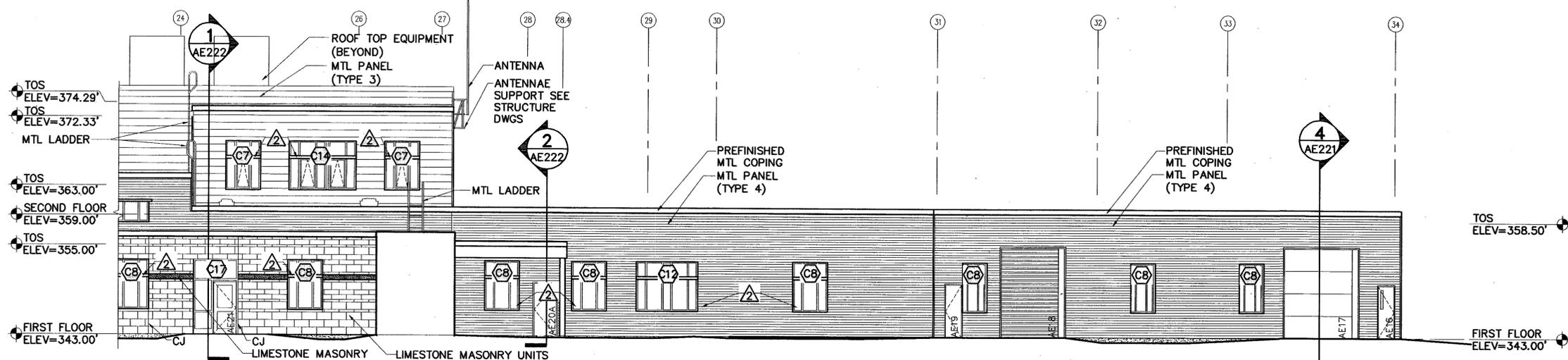
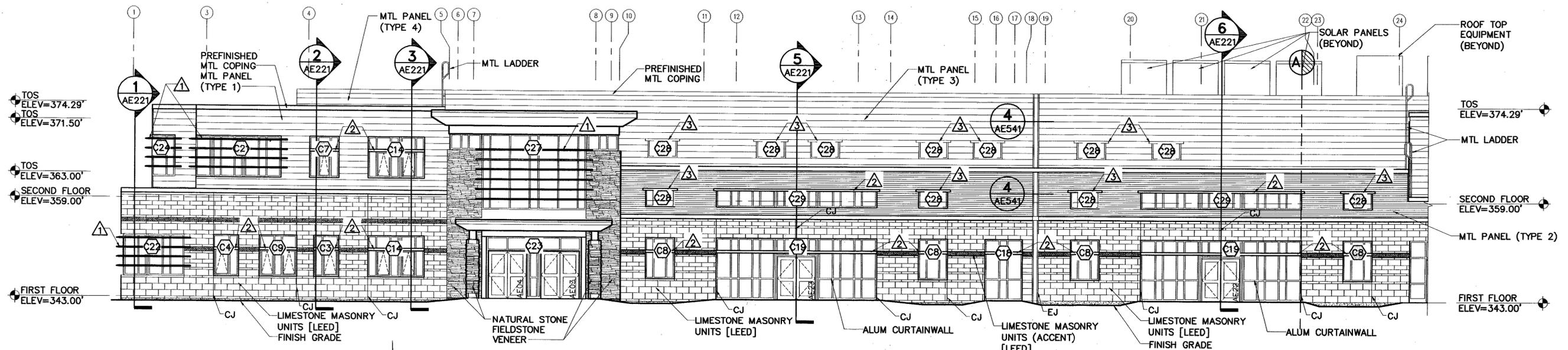
REVISIONS		
DATE	DESCRIPTION	BY

**NEW HAMPSHIRE
 REGIONAL TRAINING INSTITUTE (RTI)
 AND BARRACKS FACILITY
 PEMBROKE, NEW HAMPSHIRE**

KEYPLANS - BARRACKS

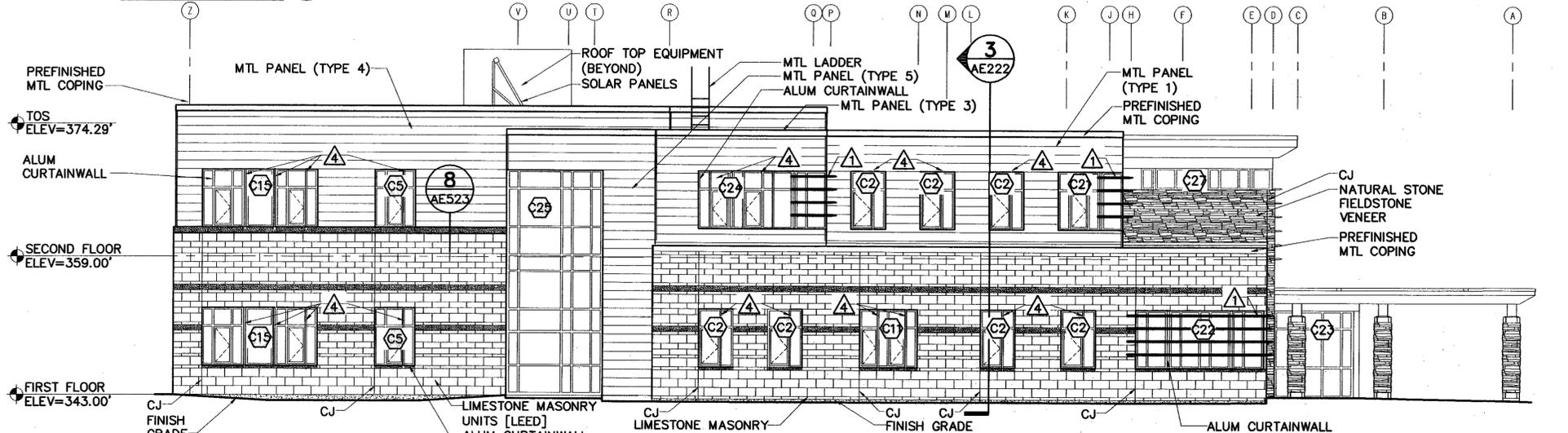
PROJECT No.
 60342
 CONTRACT: B
AE110

DRAWN BY: SAS SCALE: AS NOTED DATE: 05/09/11 SHEET: 135 OF 380



1 SOUTH BUILDING ELEVATION - RTI

AE101, AE102, AE103, AE121, AE201 SCALE: 1/8"=1'-0"

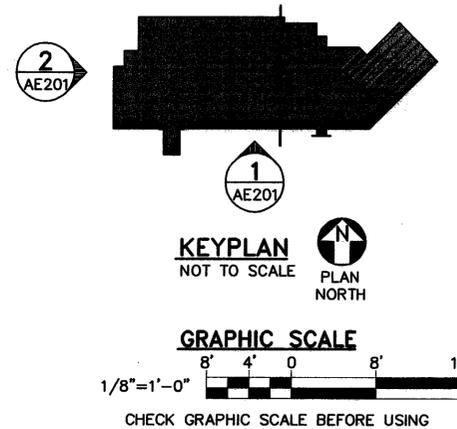


2 WEST BUILDING ELEVATION - RTI

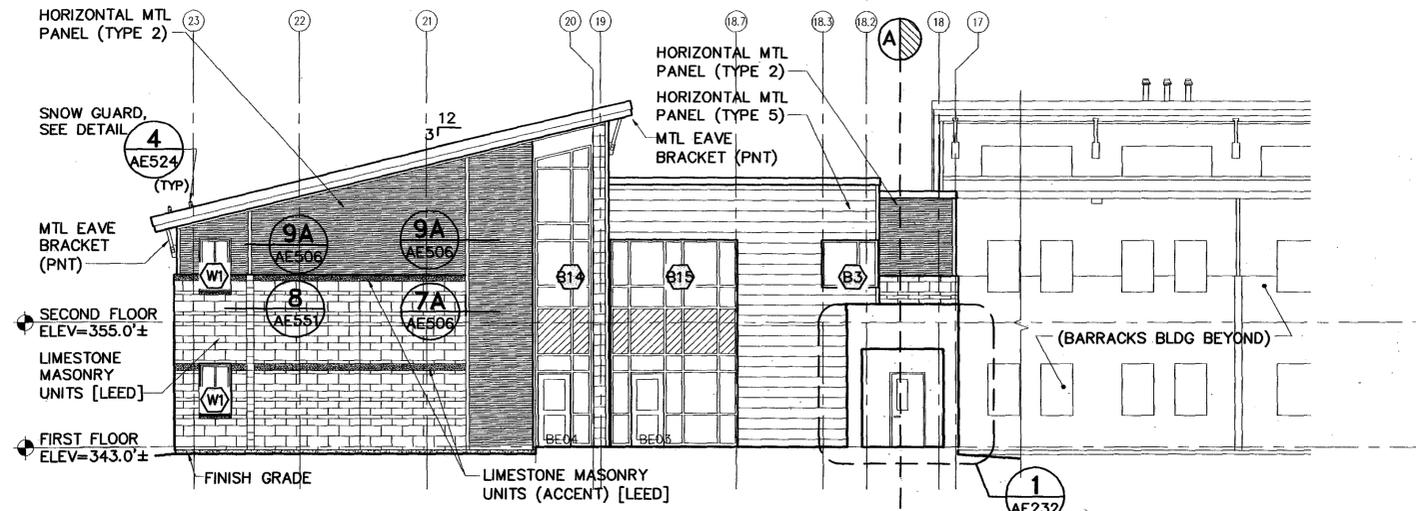
AE101, AE102, AE103, AE121, AE201 SCALE: 1/8"=1'-0"

GENERAL NOTE:
1. SEE EXTERIOR FINISH SCHEDULE - RTI AND BARRACKS AE641 FOR MTL PANEL TYPE.

- KEYNOTES: (THIS SHEET ONLY)**
- 1 EXTERIOR SUNSHADE TYPE A- SEE DETAIL AE626
 - 2 EXTERIOR SUNSHADE TYPE B- SEE DETAIL AE626
 - 3 EXTERIOR SUNSHADE TYPE C- SEE DETAIL AE626
 - 4 EXTERIOR SUNSHADE TYPE D- SEE DETAIL AE626

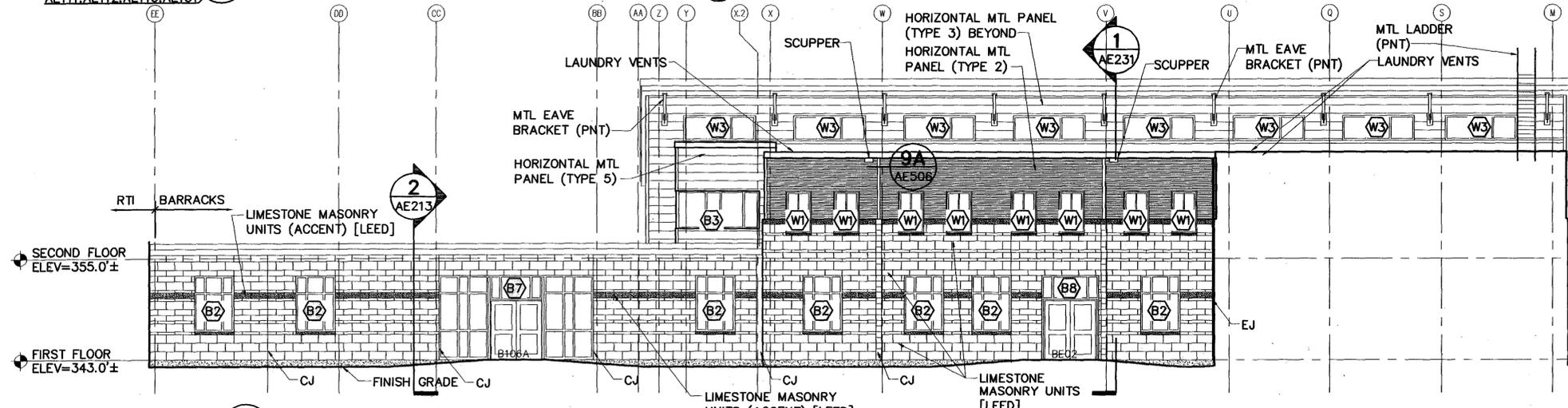


<p>OAK POINT ASSOCIATES</p> <p>ARCHITECTURE • ENGINEERING • PLANNING</p> <p>85 Middle Street, Portsmouth, NH 03801 (T) 603.431.4840 (F) 603.431.1870 www.oakpoint.com</p>	<p>LICENSED ARCHITECT</p> <p>ROBERT S. HUGHES</p> <p>NO. 2865</p> <p>STATE OF NEW HAMPSHIRE</p>	<p>STATE OF NEW HAMPSHIRE</p> <p>DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS DESIGN & CONSTRUCTION</p> <p>JOHN O. MORTON BUILDING 7 HAZEN DRIVE, BOX 483 ROOM 250 CONCORD, NEW HAMPSHIRE 03302-0483 (603) 271-3516 FAX(603) 271-3515</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	DESCRIPTION	BY				<p>NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY</p> <p>BUILDING ELEVATIONS - RTI</p> <p>PROJECT NO. 60342 CONTRACT: B</p>
			DATE	DESCRIPTION	BY						
<p>ENGINEER/ARCHITECT: MRG</p> <p>DESIGNED BY: RSH</p> <p>APPROVED BY: RCT</p> <p>CHECKED BY: RSH</p>	<p>BUILDING BY: RSH</p> <p>SCALE: AS NOTED</p> <p>DATE: 05/09/11</p>	<p>PROJECT NO. 60342 CONTRACT: B</p> <p>AE201</p> <p>SHEET: 142 OF 380</p>									



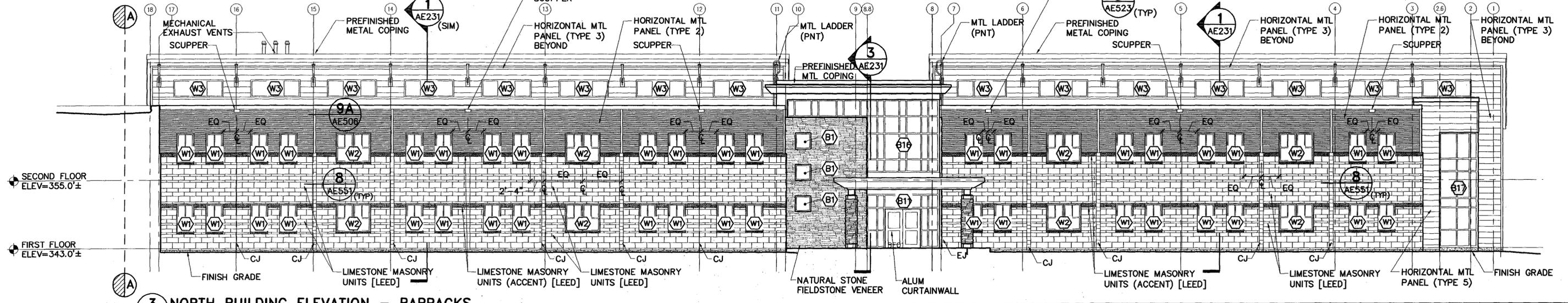
1 NORTH BUILDING ELEVATION - BARRACKS

AE111, AE112, AE113, AE131, AE211 SCALE: 1/8"=1'-0"



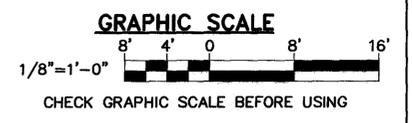
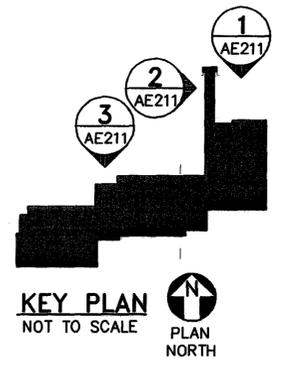
2 EAST BUILDING ELEVATION - BARRACKS

AE111, AE112, AE113, AE114, AE131, AE411 SCALE: 1/8"=1'-0"

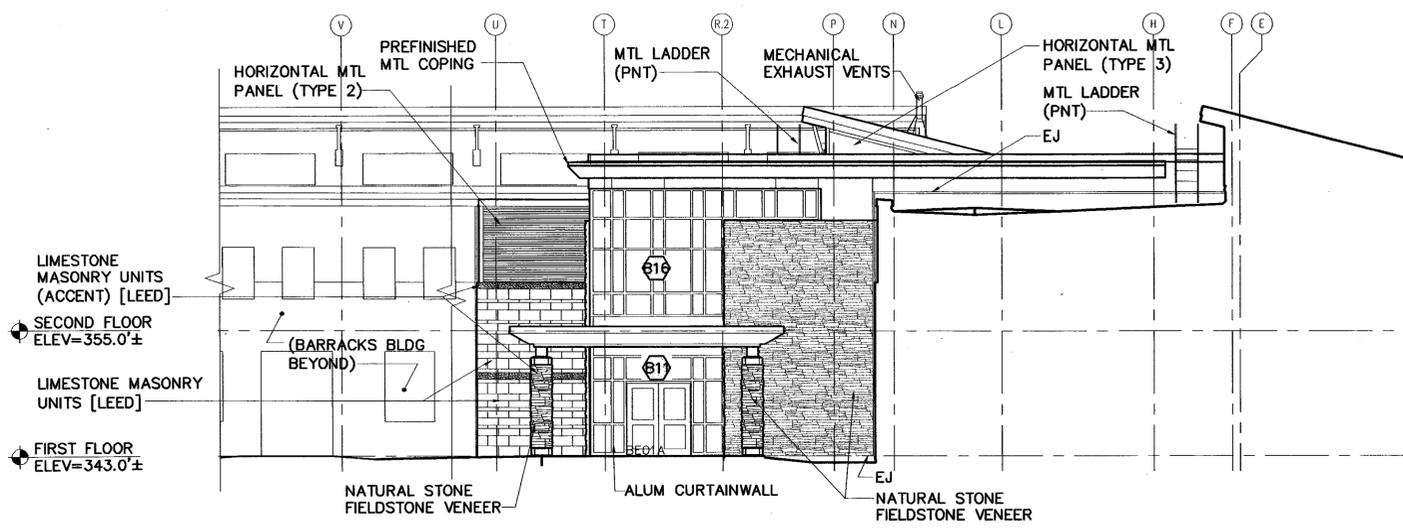


3 NORTH BUILDING ELEVATION - BARRACKS

AE111, AE112, AE113, AE131, AE211 SCALE: 1/8"=1'-0"

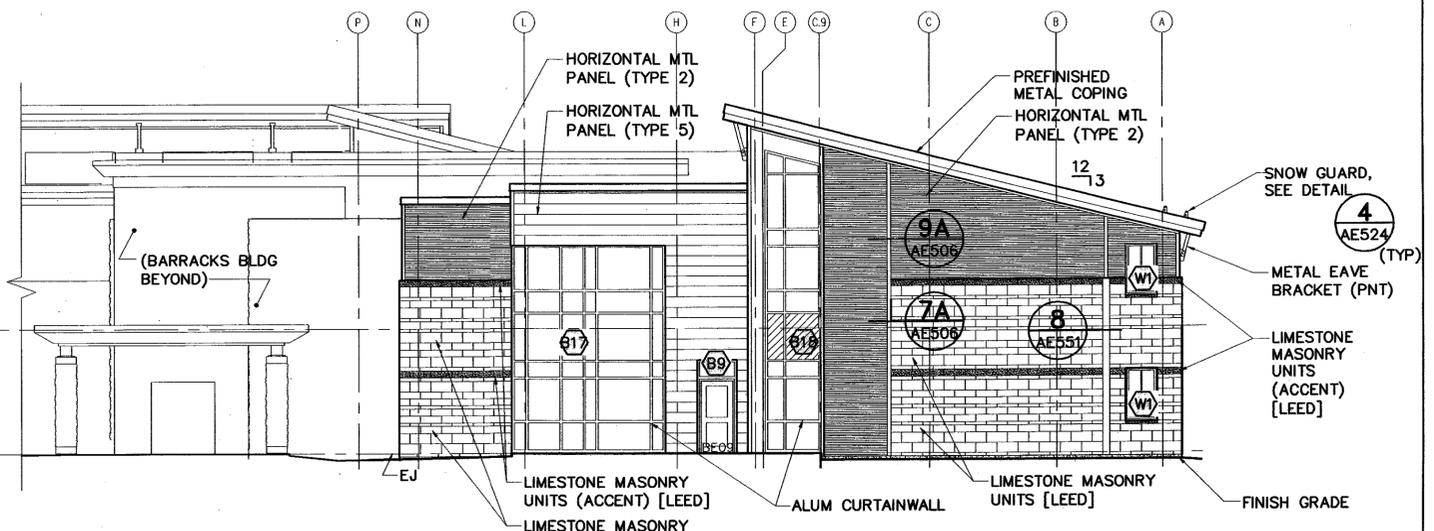


			STATE OF NEW HAMPSHIRE DEPARTMENT OF ADMINISTRATIVE SERVICES BUREAU OF PUBLIC WORKS DESIGN & CONSTRUCTION			REVISIONS DATE DESCRIPTION BY			NEW HAMPSHIRE REGIONAL TRAINING INSTITUTE (RTI) AND BARRACKS FACILITY PEMBROKE, NEW HAMPSHIRE		
			JOHN O. MORTON BUILDING 7 HAZEN DRIVE BOX 483 ROOM 250 CONCORD, NEW HAMPSHIRE 03302-0483 (603) 271-3516 FAX(603) 271-3515			PROJECT No. BOX#2 CONTRACT: B			BUILDING ELEVATIONS -BARRACKS		
ARCHITECT/ENGINEER/PLANNER 85 Middle Street, Portsmouth, NH 03801 (T) 603.431.4849 (F) 603.431.1870 www.oakpoint.com			ENGINEER/ARCHITECT: SCD DESIGNER BY: RSH APPROVED BY: RCT CHECKED BY: RSH			DRAWN BY: HMR SCALE: AS NOTED DATE: 05/09/11			PROJECT No. BOX#2 CONTRACT: B AE211 SHEET: 145 OF 380		



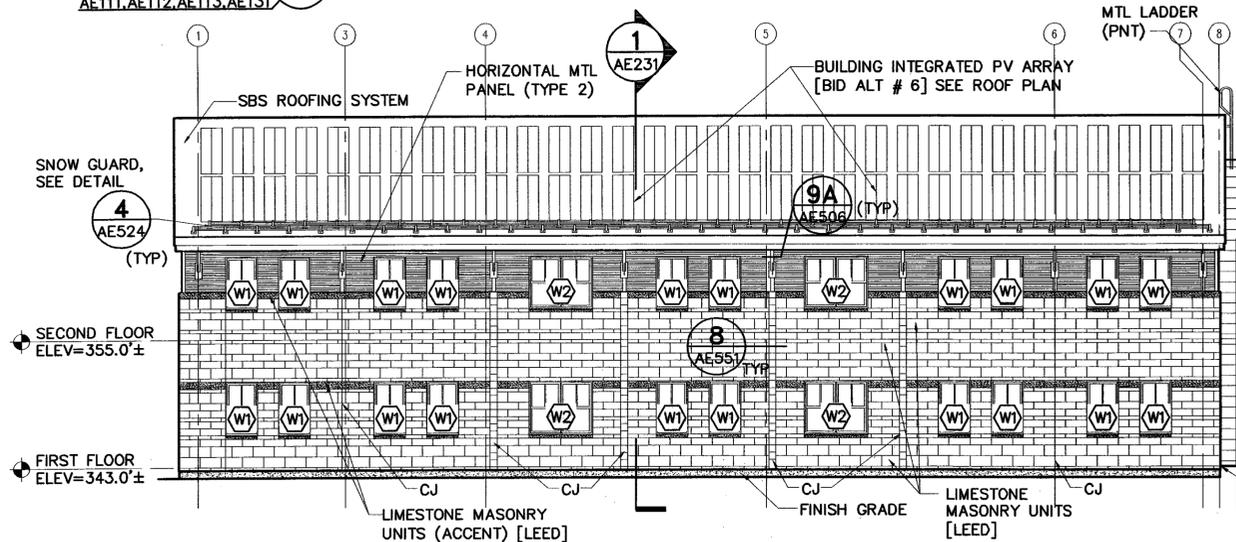
1 WEST BUILDING ELEVATION - BARRACKS

AE111.AE112.AE113.AE131
AE212



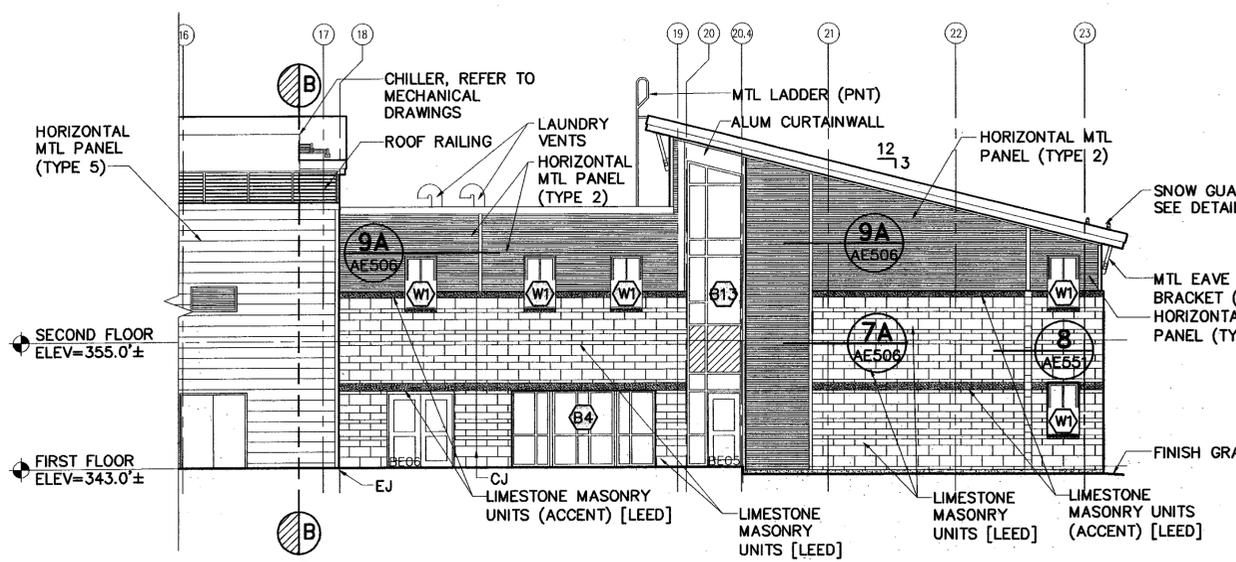
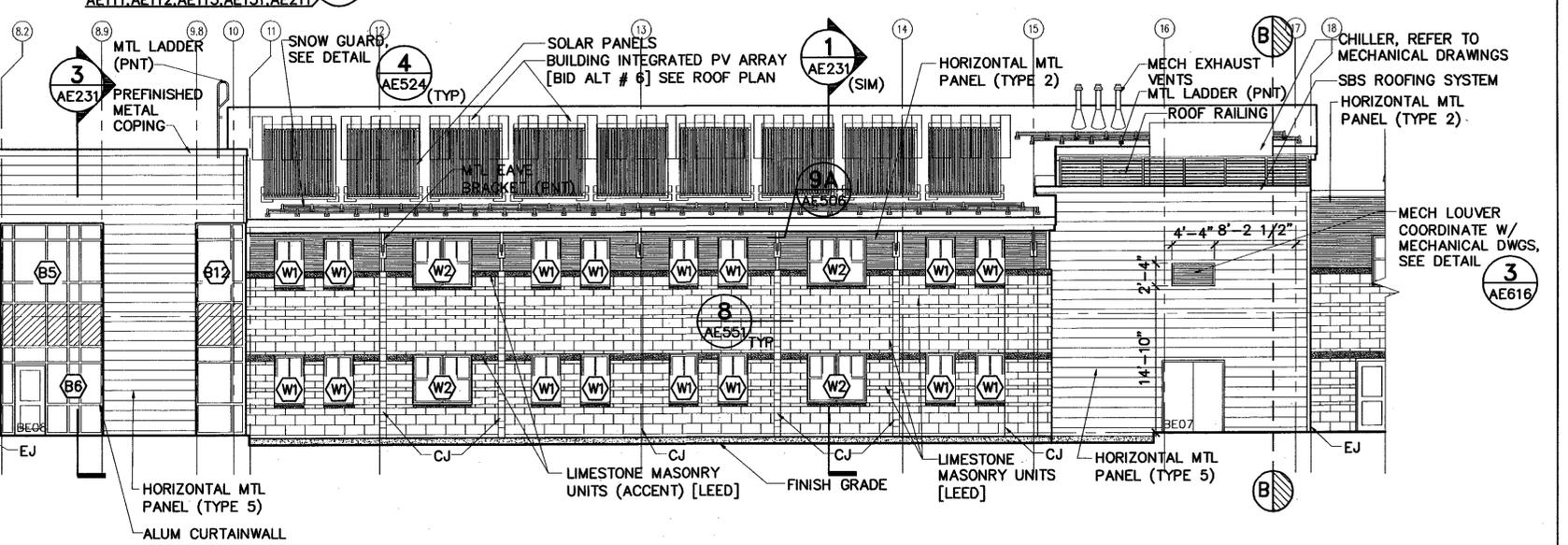
2 WEST BUILDING ELEVATION - BARRACKS

AE111.AE112.AE113.AE131.AE211
AE212



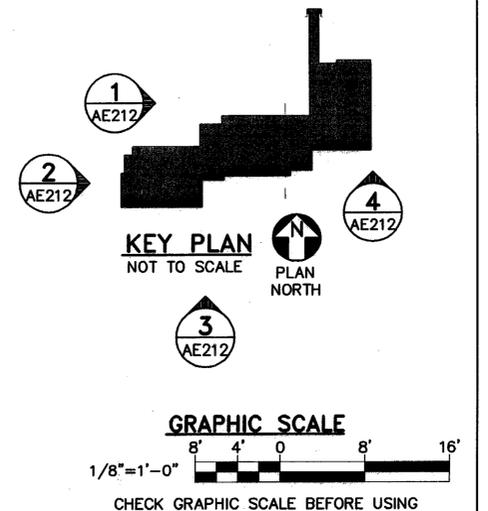
3 SOUTH BUILDING ELEVATION - BARRACKS

AE111.AE112.AE113.AE131
AE212



4 SOUTH BUILDING ELEVATION - BARRACKS

AE111.AE112.AE113.AE131
AE212 SCALE: 1/8"=1'-0"



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			DATE	DESCRIPTION	BY							
<p>ARCHITECT/ENGINEER/PLANNER 85 Middle Street, Portsmouth, NH 03801 (T) 603.431.4849 (F) 603.431.1870 www.oakpoint.com</p>	<p>ENGINEER/ARCHITECT: SCD DESIGNED BY: RSH APPROVED BY: RCT CHECKED BY: RSH</p>	<p>DRAWN BY: HMR SCALE: AS NOTED DATE: 05/09/11</p>	<p>BUILDING ELEVATIONS - BARRACKS</p>									